

## CONTENTS

### DEPOT PARK SITE PLANS

1. Contents & General Notes
2. Demolition Plan
3. Grading Plan
4. Layout Plan — Full Site
5. Layout Plan — Sculpture Pads & Lightpoles
6. Electrical — Site Plan Diagram
7. Electrical — Details
8. Parking — Key Plan & ADA Curb Ramp
9. Parking — West Area Plan
10. Parking — East Area Plan
11. Curb, Curb Ramp & Raised Platform — Sections
12. Brick Sidewalk & Trench Drain Details
13. Park Sign — Elevations & Section
14. Park Sign — Plan Details
15. Furnishings — Specifications & Locations
16. Landscape — Plan
17. Landscape — Quantities & Shrub Planting Diagram
18. Landscape — Tree Planting Details
19. Landscape — Specifications
20. Irrigation — Details & Specifications

### GAZEBO — PLATFORM & STEPS

21. Gazebo Platform & Plaza — Plan
22. Gazebo Specifications & Section A-A
23. Gazebo Platform — Detail Sections

### FURRY HOMESTEAD — FOOTING & FLOOR

24. Furry Homestead Building — Footing Plan & Section
25. Furry Homestead Building — Footing Details

### RESTROOM BUILDING

26. Restroom — Plan
27. Restroom — Interior Elevations
28. Restroom — Exterior Elevations
29. Restroom — Framing & Foundation
30. Restroom — Footing Reinforcement & General Notes
31. Restroom — Wall-Roof Sections
32. Restroom — General Notes
33. Restroom — Materials Specifications & Quantities
34. Restroom — Equipment Specifications
35. Restroom — Interior Furnishings & Equipment Specifications

### PERGOLAS & SPLASHPAD

36. Pergolas — Plan & Specifications
37. Splashpad — Concrete Plan & Section B-B
- A-001 Spray Zone Layout
- A-002 Anchor Plan
- C-001 Embed Details (Sprayheads)
- C-002 Embed Details (Drain)
- P-001 Plumbing Layout
- P-002 Drainage Layout
- PD-001 Plumbing Details (UG Vault)
- E-001 Electrical Layout
- ED-001 Electrical Details (Controllers)
- ED-002 Electrical Details (Lumiflow Power Pack)
- FT-001 Embed Details (Bollard Activator)

### SPLASHPAD NOTES

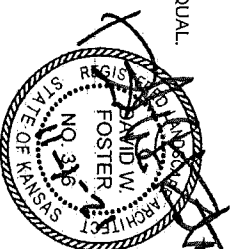
1. Splashpad to be design-build by specialized splashpad vendor, VORTEX USA Inc. OR EQUAL.
2. Backflow preventer and pressure regulator by General Contractor; coordinate size and placement with splashpad vendor and irrigation contractor.
3. Benches (4) and Pergolas (4) on perimeter of splashpad to be provided and installed by General Contractor.

## GENERAL NOTES

1. Primary contact for the City of Kingman is Greg Grafman, City Manager. Phone: (620) 592-3111 Email: grafman@cityofkingman.com
2. All of Depot Park is within the 1% Annual Chance Floodplain (100 Year Flood). Coordinate as necessary with Tom Archer, City of Kingman Floodplain Administrator.
3. All construction must meet with applicable City of Kingman codes, including the 2014 International Codes, and the 2015 National Electric Code.
4. Contractor must locate and field verify all existing utilities prior to and during construction. The Contractor must immediately contact the City of Kingman upon discovery of field conditions which conflict with the proposed design.
5. Contractor is responsible for preventing damage to existing construction to remain, including the metal fence, Clocktower Plaza, and the gravel parking area at the Depot building. Any items damaged must be repaired or replaced at Contractor's expense.
6. **Utility Connections:** Contractor to coordinate with City of Kingman to provide water, sanitary sewer, and electrical services to Depot Park site as necessary for complete project.
  - Power poles and main lines for water and sewer are available in the Sherman Avenue right-of-way adjacent to the north side of the site.
  - **NOTE:** Sanitary sewer lines for Depot Park facilities must not be connected to the high pressure sewer line that crosses the site north-to-south just west of the Splashpad location.
7. All sidewalk installation slopes, cross-slopes and surface treatments must comply with **ADA Guidelines**.
8. **CONCRETE:** All concrete to be air-entrained. All concrete joints to be hand-tooled. All exposed concrete edges to have 3/4" tooled edge. Minimum depth of control joints to be one quarter of slab depth. Transverse expansion joints in sidewalks to be 30 feet maximum apart.
9. **Compacted fill material and installation methods** to be approved by City representative. Sand not permitted as fill material except for 2-inch maximum depth for leveling.
10. City will be responsible for removing and reinstalling any traffic signs affected by project construction. Contractor to coordinate with the City Manager.
11. Contractor to coordinate with City Manager for removal and temporary storage of all Stark sculptures. City staff will remove all sculptures, provide storage facility, and reinstall sculptures after completion of project.
12. For reconstruction of historic Furry Homestead building, Contractor to coordinate with historic mason Jon Parcost (see Sheet 24 for contact information). Contractor is responsible for construction of footings, floor slab, gravel border, and electrical elements. Jon Parcost will be responsible for reconstruction of the stone building, roof, and window and door frames.



landscape architecture & planning



1415 E. 2nd Street N. Wichita, KS — 316-262-4525 — www.fosterdesignassociates.com

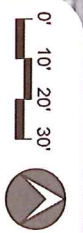
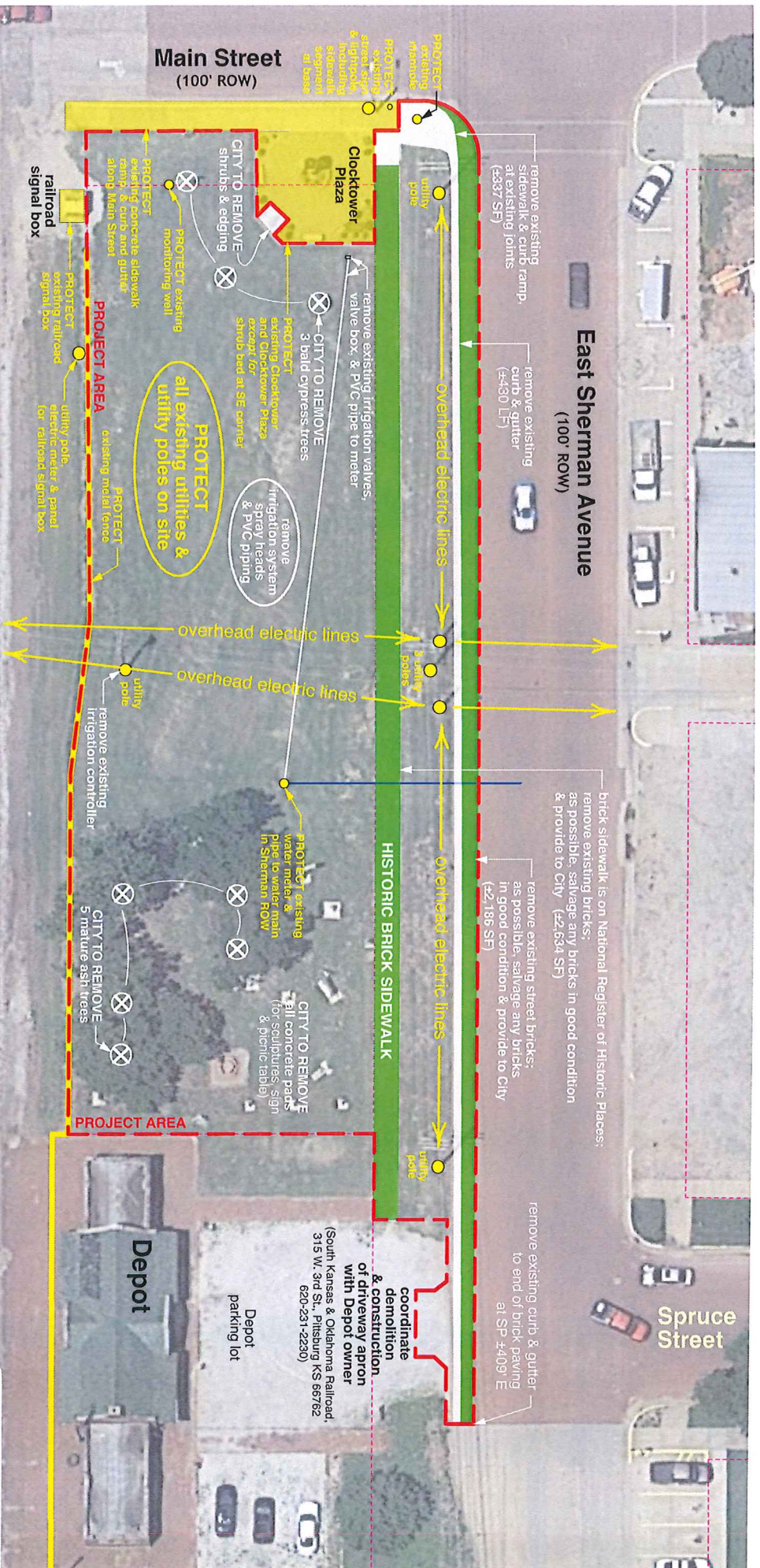
Depot Park — 100 S. Main Street, Kingman KS

date: 11/1/2021

project: 19054.2

sheet: 1 of 48

Contents & General Notes

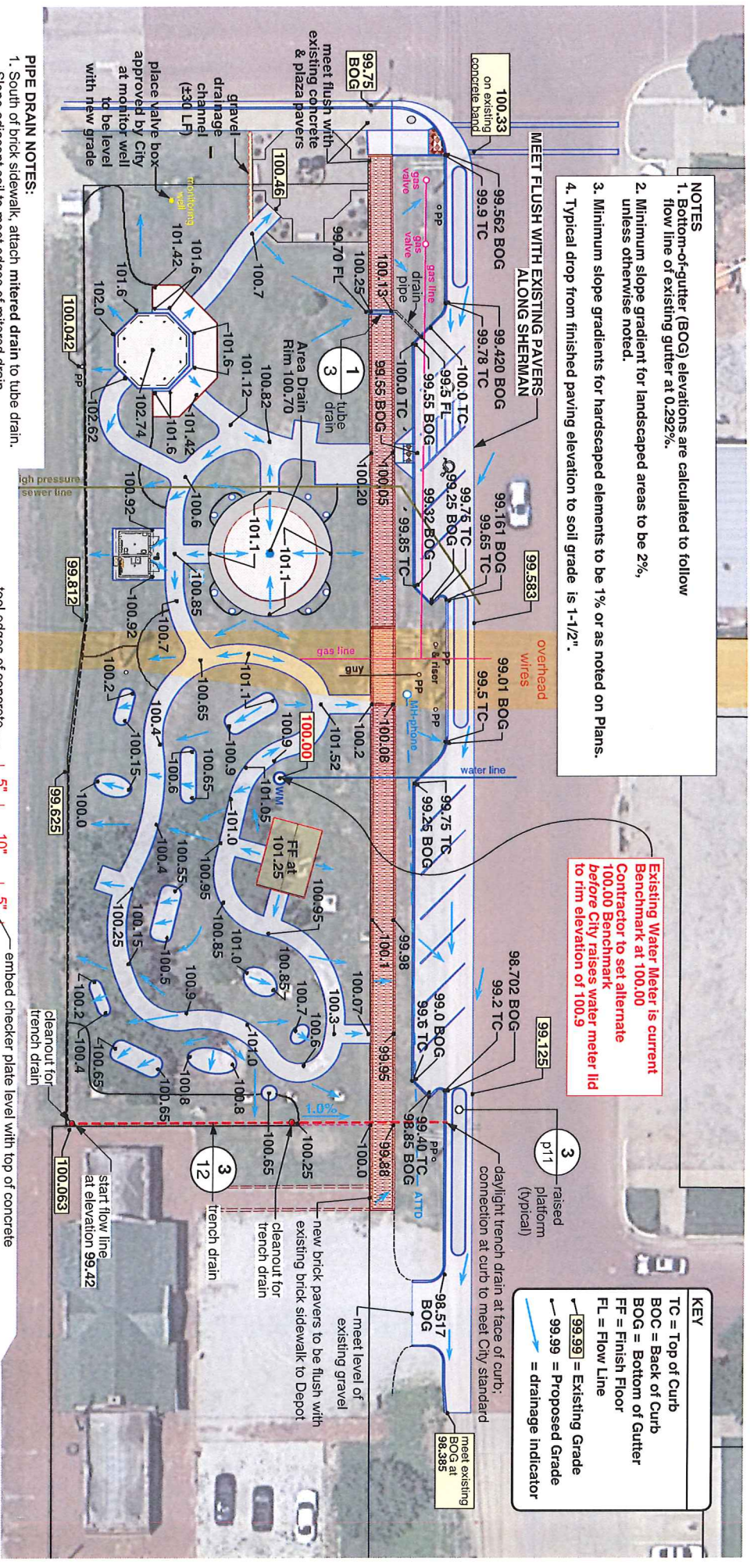


- NOTES**
1. Bottom-of-gutter (BOG) elevations are calculated to follow flow line of existing gutter at 0.292%.
  2. Minimum slope gradient for landscaped areas to be 2%, unless otherwise noted.
  3. Minimum slope gradients for hardscaped elements to be 1% or as noted on Plans.
  4. Typical drop from finished paving elevation to soil grade is 1-1/2".

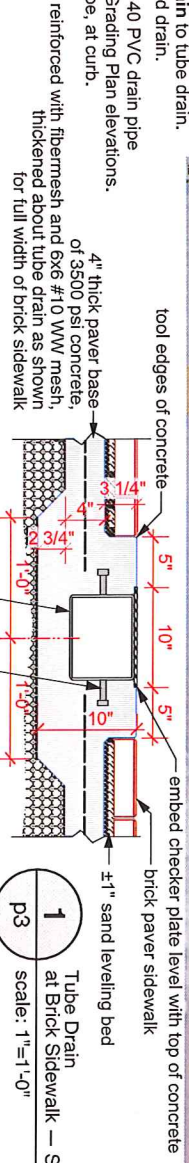
Existing Water Meter is current  
 Benchmark at 100.00  
 Contractor to set alternate  
 100.00 Benchmark  
 before City raises water meter lid  
 to rim elevation of 100.9

**KEY**

- TC = Top of Curb
- BOG = Back of Curb
- BOG = Bottom of Gutter
- FF = Finish Floor
- FL = Flow Line
- [99.99] = Existing Grade
- 99.99 = Proposed Grade
- = drainage indicator



- PIPE DRAIN NOTES:**
1. South of brick sidewalk, attach mitered drain to tube drain. Slope adjacent soil to meet edges of mitered drain.
  2. North of brick sidewalk, attach 4" Schedule 40 PVC drain pipe tube drain, slope drain pipe to curb as per Grading Plan elevations. Install deeter drain at north end of drain pipe, at curb.



**FOSTER DESIGN**  
 Associates LLC

landscape architecture & planning

1415 E. 2nd Street N. Wichita, KS — 316-262-4525 — www.fosterdesignassociates.com

date: 11/1/2021

project: 19054.2

Depot Park — 100 S. Main Street, Kingman KS

**Grading Plan**

sheet: 3 of 48





landscape architecture & planning

1415 E. 2nd Street N, Wichita, KS

316-262-4525

www.fosterdesignassociates.com

date: 11/1/2021

project: 19054.2

# FOSTER DESIGN Associates LLC

**NOTE:**  
All sidewalks are 6'-0" wide, 5" thick, and reinforced with 6x6 #10 welded wire.

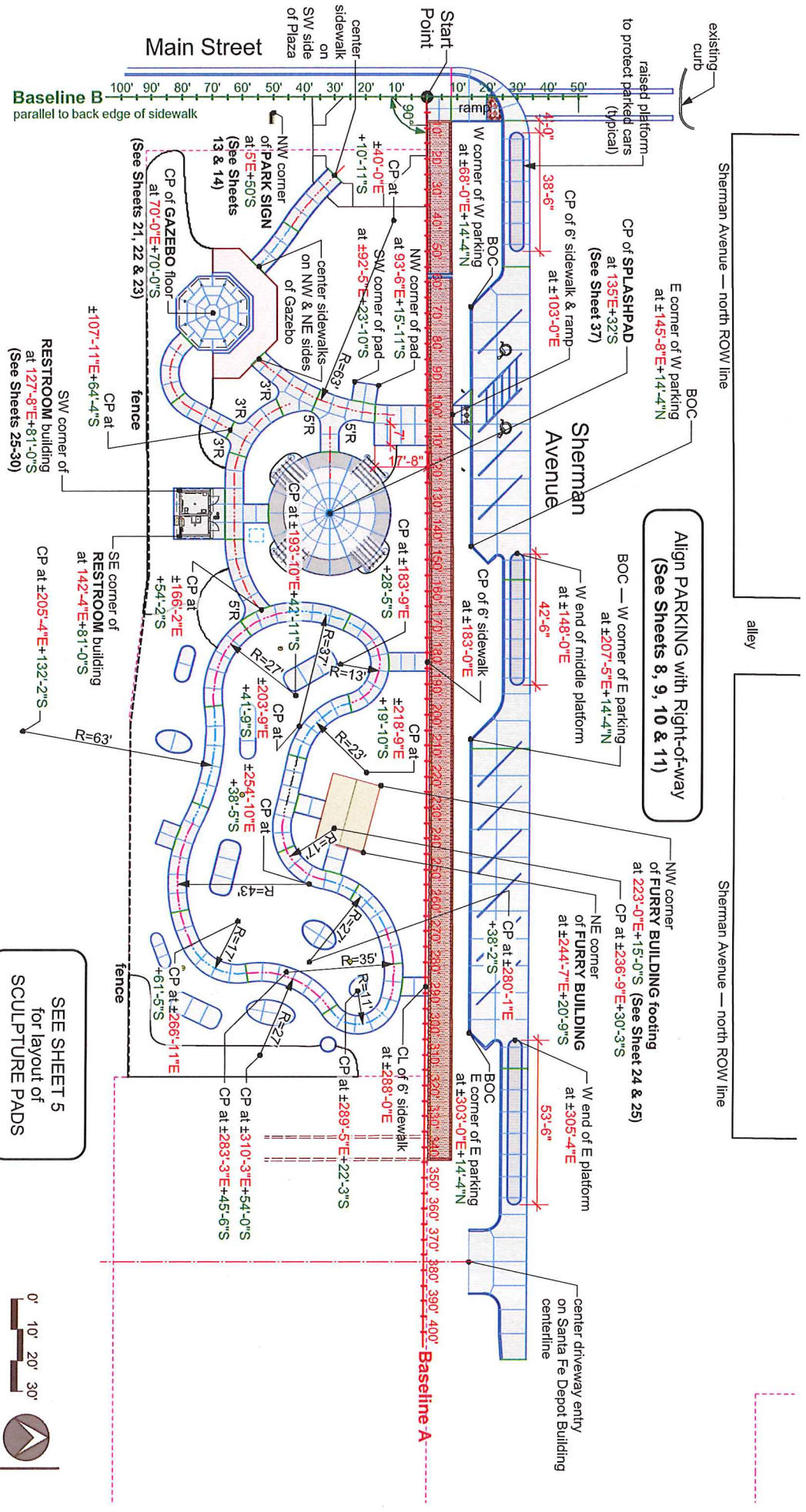
**KEY**  
— control joint  
— expansion joint

SEE SHEET 5 for layout of SCULPTURE PADS

## Layout Plan — Full Site

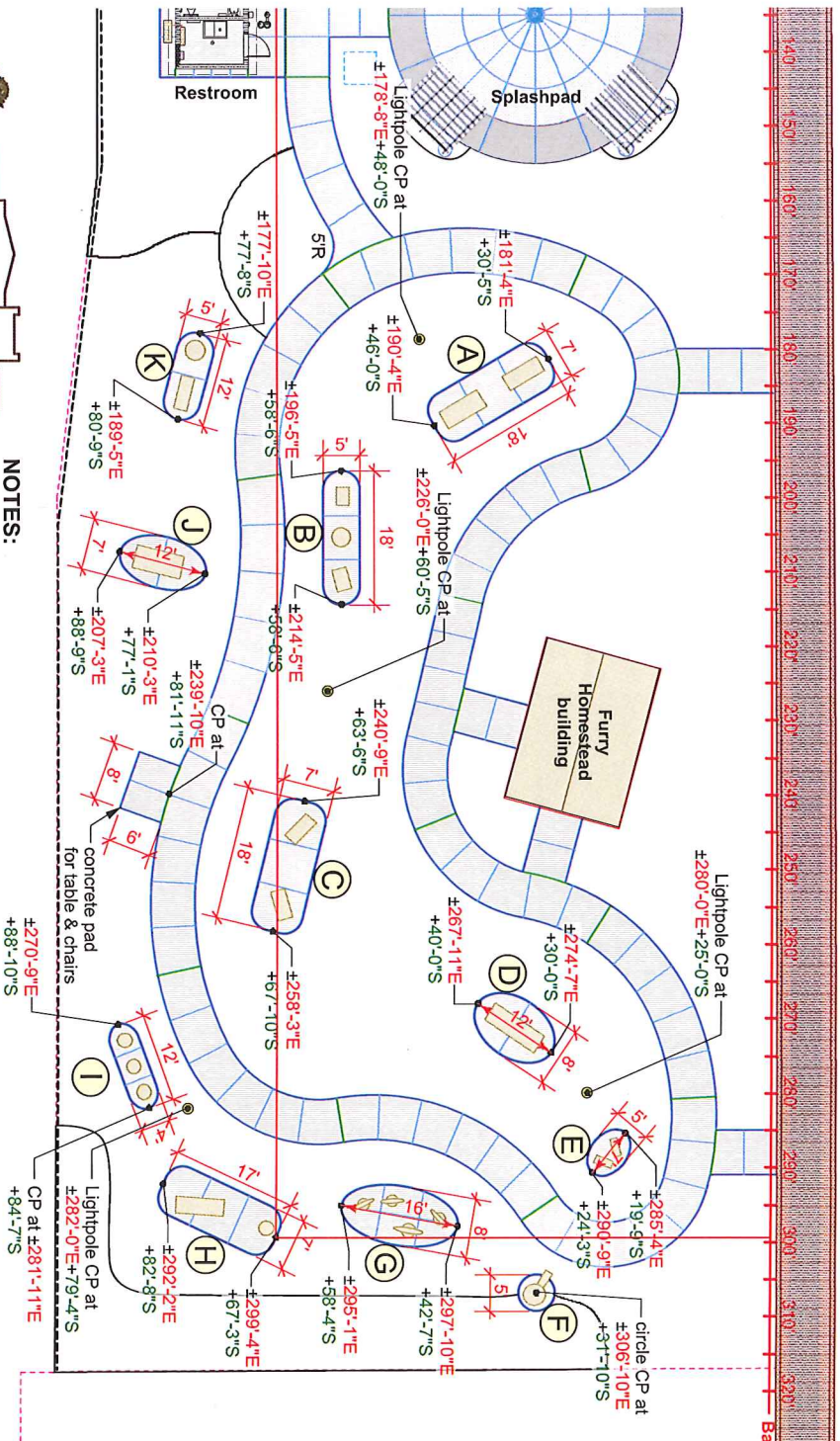
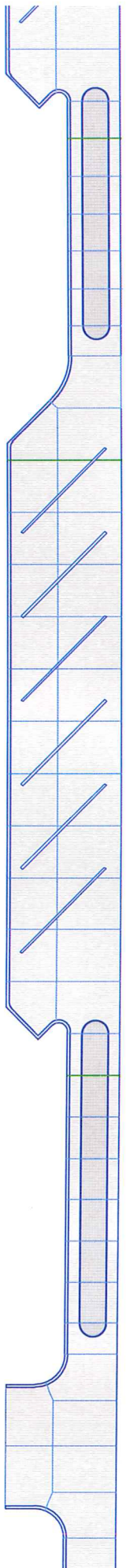
Sheet: 4 of 48

scale: 1" = 30'-0"

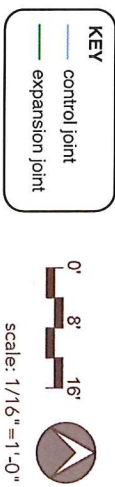


Align PARKING with Right-of-way (See Sheets 8, 9, 10 & 11)

Depot Park — 100 S. Main Street, Kingman KS



- Concrete Pads for Stalk Sculptures**
- (A) Cowboy (north) & Longhorn (south) (face-off)
  - (B) Hagar, 'Palm' Tree & Bigfoot
  - (C) Two Giraffes
  - (D) Good Old Days (sitting mule)
  - (E) Sitting Coyote (north) and Standing Coyote (S)
  - (F) Cougar in Tree & Crow
  - (G) Four Totem Poles
  - (H) Bear (north) & Moose (south)
  - (I) Three Indians
  - (J) Dinosaur
  - (K) Good Shepard & Lion of St. Mark



- NOTES:**
1. All sidewalks are 6'-0" wide.
  2. Corner radii of rounded rectangle sculpture pads are 3'-6".
  3. Adjust all Sculpture Path sidewalk curves to maintain tangent intersections.



**Layout Plan — Sculpture Pads & Lightpoles**  
 Depot Park — 100 S. Main Street, Kingman KS



**Path Lighting Specifications**

For Path Light locations, see Sheet 5.

**Lighthouse foundation design to be submitted to City for review. Shop drawings to be stamped by Kansas-registered Engineer.**

Luminaires, lightpoles and programmer to be by **Sternberg Lighting OR EQUAL.** (Contact: Amy Chapman at Mercer-Zimmerman, Wichita KS)

- **Luminaire** — To be Sternberg Solana pole-top medium luminaire with T-5 distribution pattern, 4000°K color temperature, motion sensor, and black textured finish: **Sternberg Solana PT-SL660-12L50T5-MDL014-SV1-MOT2-BKT OR EQUAL. (Total of 4 units.)**
- **Light Pole** — To be Sternberg Urban Line round aluminum 14-foot pole, 5-inch diameter, with 3-inch tenon, base cover, and black textured finish: **Sternberg Urban Line RSA14A500-P3-2401-5-BKT OR EQUAL. (Total of 4 units.)**
- **Programmer** — For MOT2 Sensor. **(Total of 1 unit.)**

Splashpad Valve Vault  
(See General Notes/Electrical on sheet A-001 & Splashpad Electrical sheets E-001 & E-002)

For Furry Homestead lighting specifications, see sheet 7.

**COORDINATE installation of Furry Homestead lighting with historic reconstruction mason Jon Pancost.**

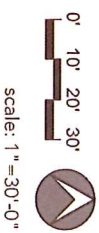
General Contractor is responsible for installation of Furry Homestead electrical and lighting, as well as for construction of footings and floor slab.

For Gazebo lighting specifications, see sheet 7.  
For Gazebo lighting locations, see sheet 22.

- 4 Depot Park electrical panel mounted on south wall of Utility Room in Restroom Building
- 1 See Restroom Building — Electrical Diagram
- 27
- 7

For Restroom building lighting Specifications, see sheet 34.

**Verify power source with City staff.**



scale: 1"=30'-0"  
sheet: 6 of 48



**FOSTER DESIGN**  
Associates LLC

1415 E. 2nd Street N. Wichita, KS — 316-262-4525 — www.fosterdesignassociates.com

date: 11/1/2021

project: 19054.2

**Electrical — Site Plan Diagram**  
Depot Park — 100 S. Main Street, Kingman KS

# Lighting Specifications

## Furry Homestead Building:

Conduit to penetrate footing and run up interior wall in SW corner of building (see Sheet 24), then follow roof structure to occupancy sensor & lighting fixtures. *Make conduit, sensor & fixtures as inconspicuous as possible.*

Two LED lighting fixtures are to be mounted on roof structure collar ties, each about 1/3 of the way in from the gable end walls.

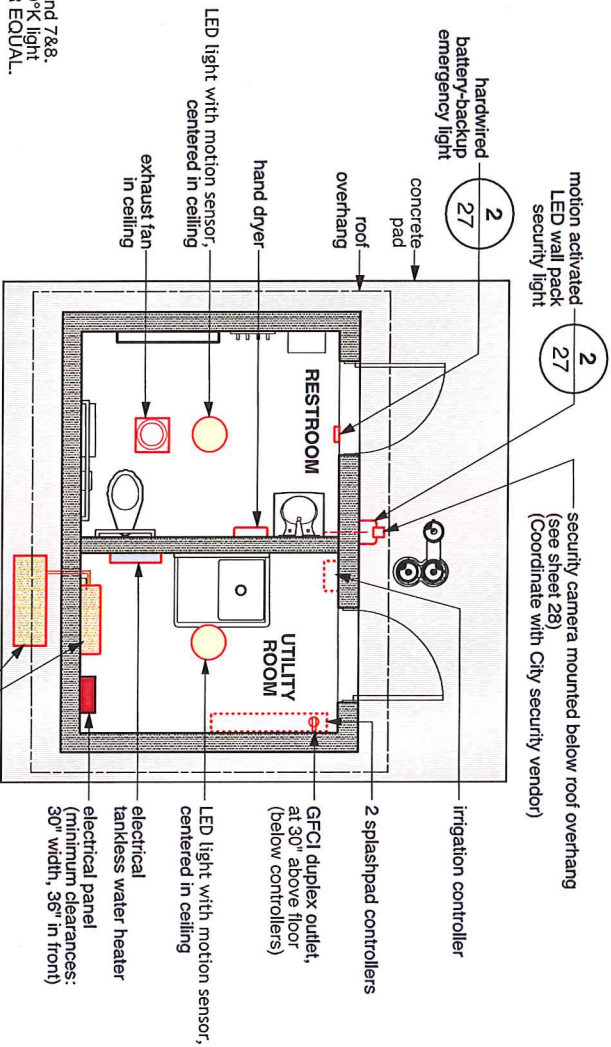
- Occupancy sensor to be PIR, small motion, hardwired, ceiling-mounted occupancy sensor with a time delay range of up to 20 minutes — **Sensor Switch CM9 OR EQUAL.** *Coordinate with City to determine time delay setting.*

- Light fixtures to be 4-foot linear LED strip lights, dimmable with adjustable lumen output and switchable between 3500, 4000, & 5000°K — **Lithonia CSS LED Striplight, Model CSS L48 AL03 MVOLT SWW3 80CRI OR EQUAL.** *Set light color at 3500°K.*

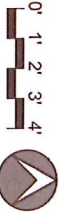
## Gazebo:

Cutouts for lighting and electrical items are factory installed. **DO NOT MAKE ANY ADDITIONAL CUTOUTS IN GAZEBO STRUCTURAL ELEMENTS.** To do so will invalidate the Gazebo Warranty.

- **GFCI duplex receptacle** with lockable, weatherproof vertical outlet cover — one each on interior face of Columns 2, 6 & 7, at 24 inches AFF. *(Total of 3 units.)*
- **GFCI duplex receptacle** with lockable, weatherproof, horizontal in-use outlet cover — one each on interior face of roof structure tension member and on interior face of upper clerestory, between Columns 2 & 3. *(Total of 2 units.)*
- **Security Light** — on inside of J-Column, at truss extending from Column 3. Security light to be LED low-profile, flush mount, weatherproof security light with die-cast aluminum body, dimming occupancy sensor and integrated photocell. **Cooper Lumark Accent LED wall pack AXCSSAHL-W-VT-MSP/DIM-L12 OR EQUAL.** *(Total of 1 unit.)*
- **Event Lighting** — one each on bottom side of lower clerestory, between Columns 1&2, 4&5, and 7&8. Event lights to be LED wet-location linear fixtures, 2 feet long, less than 4 inches wide, with 5000°K light dimmable to 10%. **WareLight LED Vapor Tight WL-VT2-LED-52W-50K-DM010-MV** fixtures OR EQUAL. *(Total of 3 units.)*
- **Event Lighting Dimmer Switch** — one on back of column 3, at 48 inches AFF. *(Total of 1 unit.)*
- **Switch Cover** to be lockable, weatherproof, single-gang switch cover, white in color, **Hubbell Bell Weatherproof Single Outlet Cover Outdoor Receptacle Protector, White, Vertical Flat, OR EQUAL.** *(Total of 1 unit.)*



**NOTE:**  
For Restroom building lighting Specifications, see sheet 34.

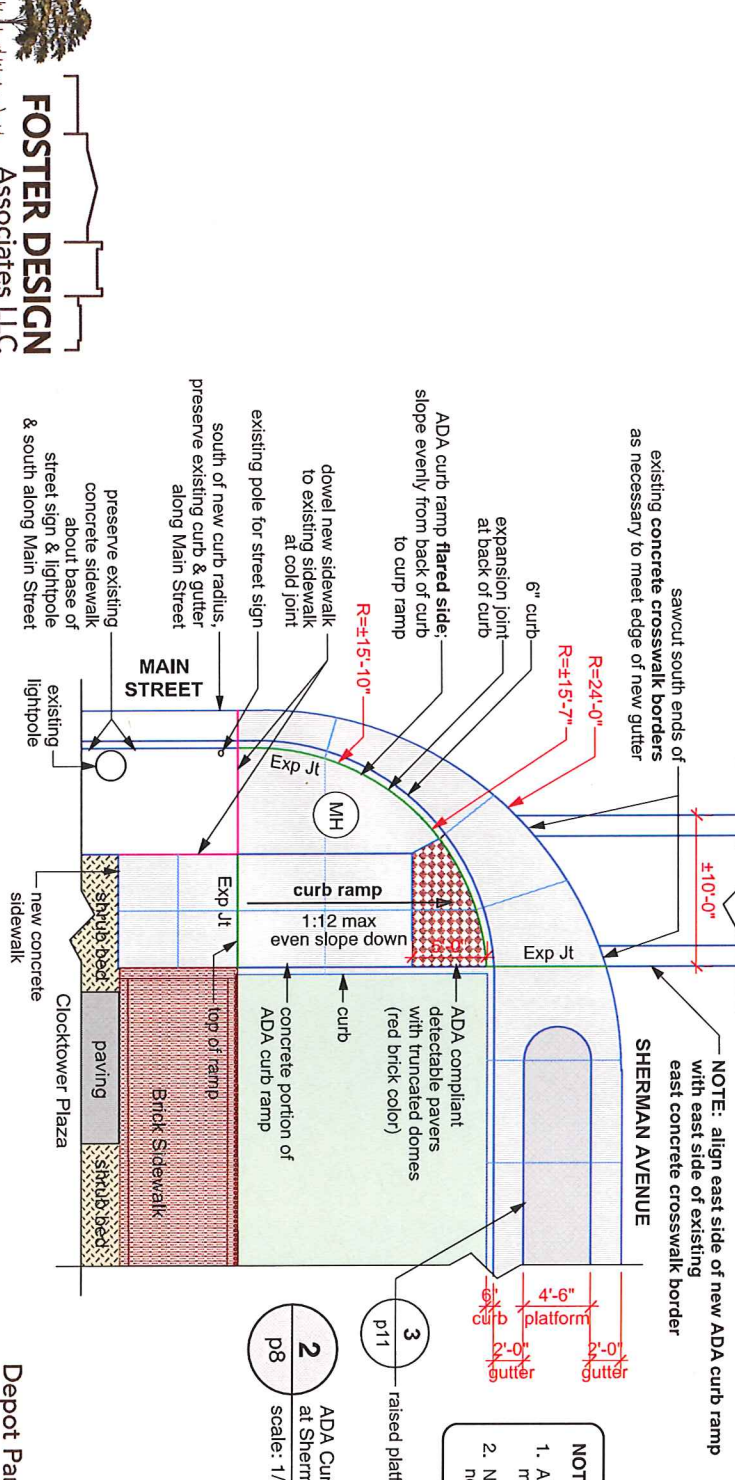
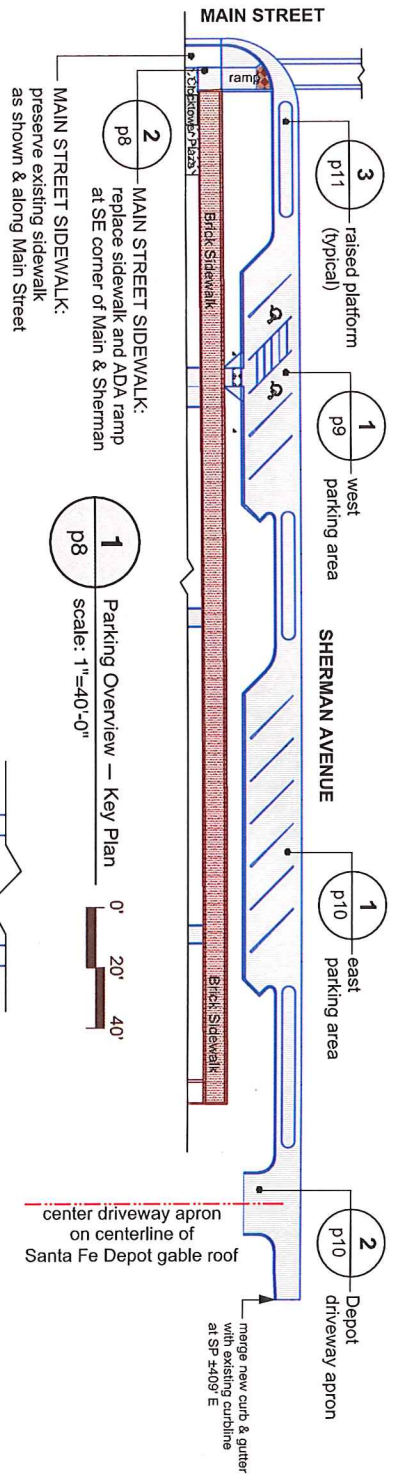


landscape architecture & planning

1415 E. 2nd Street N. Wichita, KS — 316-262-4525 — www.fosterdesignassociates.com

Depot Park — 100 S. Main Street, Kingman KS  
date: 11/1/2021 project: 19054.2

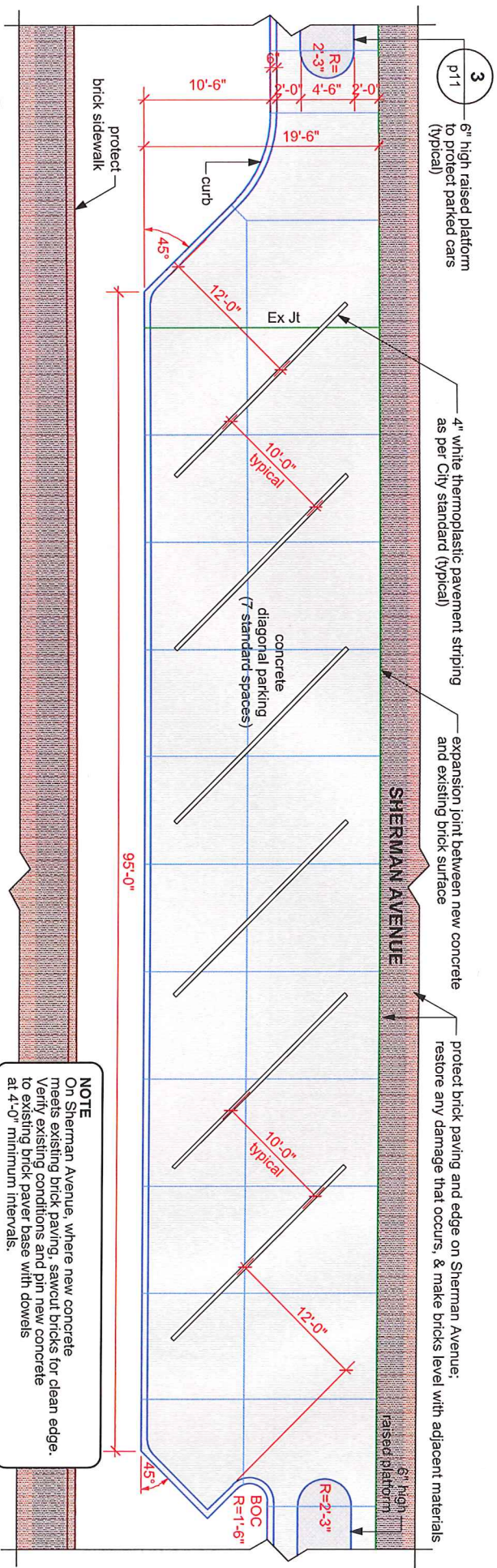
## Electrical — Details



- NOTES**
1. All sidewalk and curb ramp conditions must meet ADA Guidelines.
  2. Narrow width cuts of detectable pavers not acceptable.



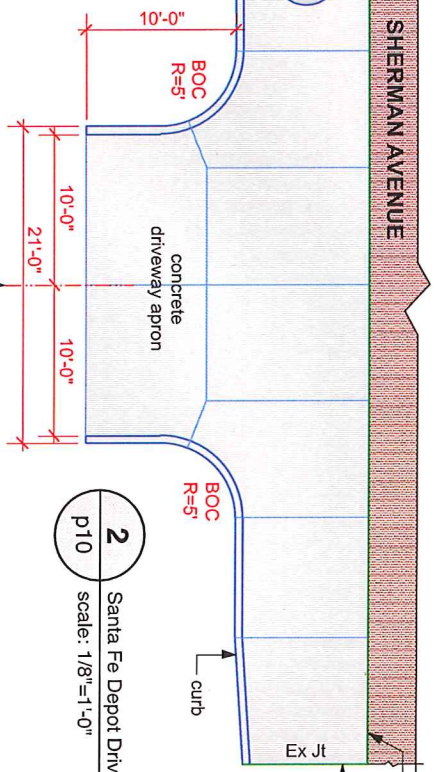




**1**  
East Parking on Sherman —  
Plan  
scale: 1/8"=1'-0"

protect brick paving on Sherman Avenue:  
if damage occurs, restore to original condition  
to protect parked cars  
(typical)

**NOTE:** Repair any damage caused by construction  
to gravel surface of Depot parking lot entry.



**2**  
Santa Fe Depot Driveway Apron — Plan  
scale: 1/8"=1'-0"



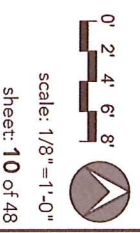
landscaping architecture & planning

1415 E. 2nd Street N. Wichita, KS — 316-262-4525 — www.fosterdesignassociates.com

date: 11/1/2021

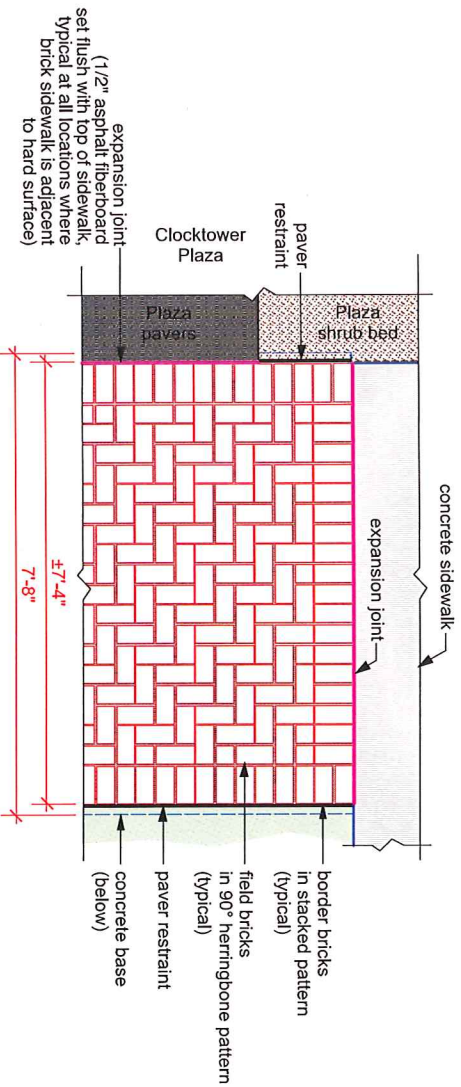
project: 19054.2

**Parking — East Area Plan**  
Depot Park — 100 S. Main Street, Kingman KS

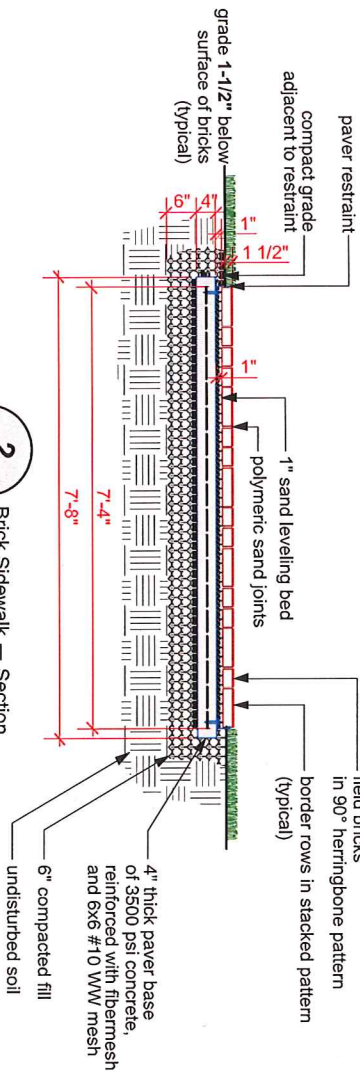


scale: 1/8"=1'-0"  
sheet: 10 of 48

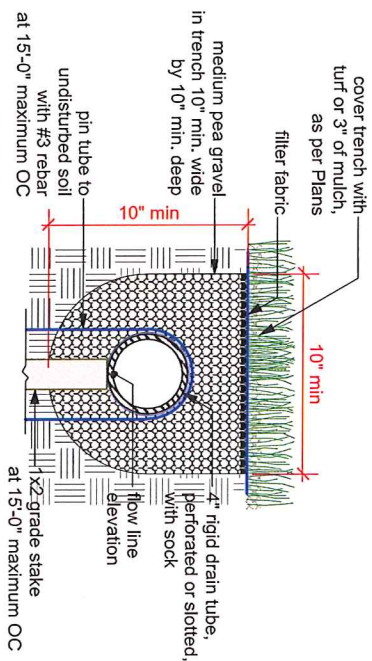




1 Brick Sidewalk (at its west end) — Plan  
 scale: 1/2"=1'-0"  
 0' 1' 2'



2 Brick Sidewalk — Section  
 scale: 1/2"=1'-0"  
 0' 1' 2'



3 Trench Drain — Section  
 scale: 2"=1'-0"  
 0' 2' 4' 6'

**BRICK SIDEWALK NOTES**

**Protect Installation** Install brick sidewalk after majority of other construction is complete; protect brick sidewalk from damage due to construction process.

**Brick Selection** New paver bricks must meet ADA Guidelines, with chamfer of 1/4" or less. Otherwise, new bricks should match historic bricks as closely as possible in size, shape, and color. Landscape Architect to pre-approve brick selection.

Brick sidewalk as installed must be **ADA compliant**.

**Paver restraint** to be Permaloc StructurEdge aluminum OR EQUAL, secured with Ramsel/Hilti 3/4" - 1" nails, 12" on center, located a minimum of 2-1/2" clear from edge of base concrete.



landscape architecture & planning

1415 E. 2nd Street N. Wichita, KS

316-262-4525

www.fosterdesignassociates.com

date: 11/1/2021

project: 19054.2

sheet: 12 of 48  
**Brick Sidewalk & Trench Drain Details**  
 Depot Park — 100 S. Main Street, Kingman KS





# Specifications for Furnishings

All furnishings to be by *Sitescapes of Lincoln, NE* ([www.sitescapesonline.com](http://www.sitescapesonline.com)) OR EQUIV. Any substitutions to be pre-approved by Landscape Architect.

## BENCHES (quantity 4):

- Avondale with Steel Loop Ends, custom 4-foot length — AV1-custom
- Frame: Duracoat finish — color Sterling
- Seating: Recycled plastic slats — color Cherry Wood

## CHAIRS (quantity 4):

- Public Metro punched aluminum seat, surface mount, no armrests — PMS-1111
- Duracoat finish — color Sterling

## TABLES (quantity 2):

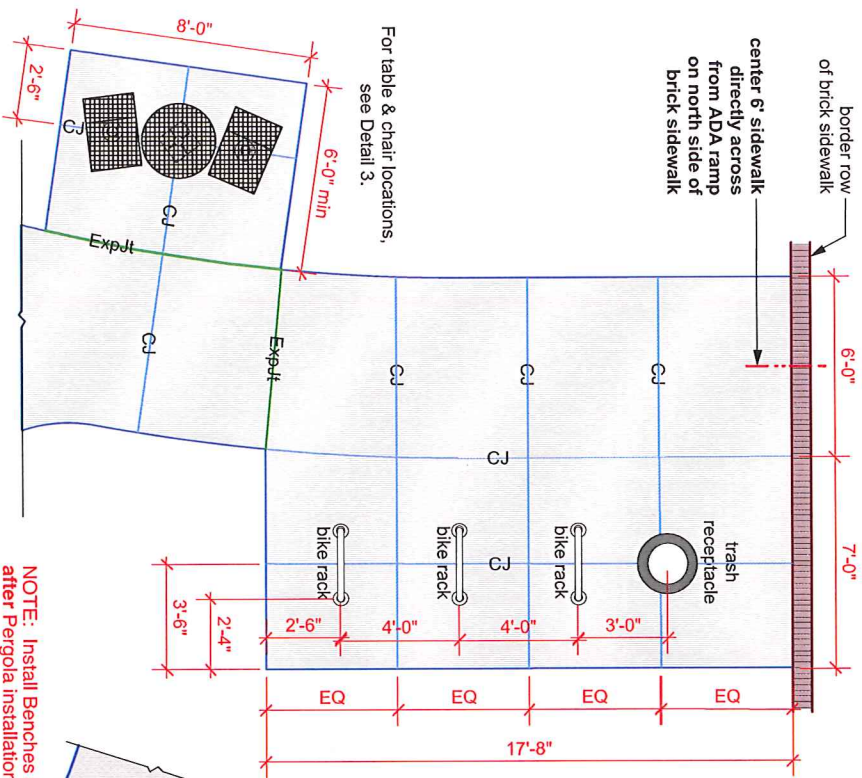
- CityView custom 30-inch round aluminum table, surface mount, no umbrella hole — CV6-custom
- Perforated pattern
- Duracoat finish — color Sterling

## TRASH RECEPTACLE (quantity 1):

- Halo trash receptacle, 40-gallon, top opening, surface mount, flat top lid — HL2-1000-DF
- Duracoat finish — color Sterling

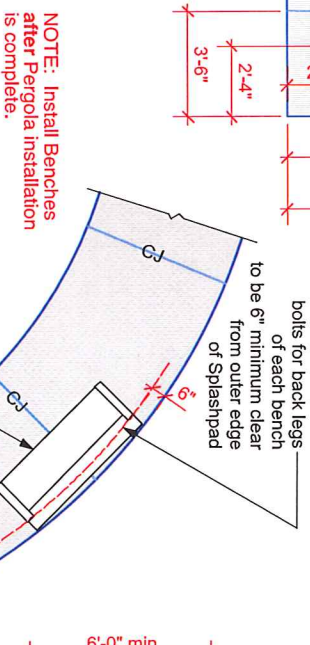
## BIKE RACKS (quantity 3):

- Apex Inverted U bike rack, 2-capacity, surface mount — AP2-02-SM
- Duracoat finish — color Sterling



For table & chair locations, see Detail 3.

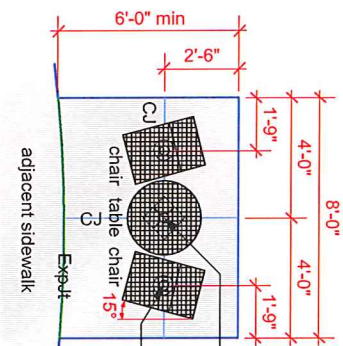
**1** Bike Racks & Trash Receptacle Locations — Plan  
scale: 1/4"=1'-0"



**NOTE:** Install Benches after Pergola installation is complete.

Install 4-foot benches at NE, NW, SE, & SW points of Splashpad, centered over 45° control joints and perpendicular to Splashpad radius

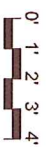
**2** Bench Locations — Plan (typical)  
scale: 1/4"=1'-0"



Locate two concrete pads for table & chairs as shown on Site Layout Plans. (See Sheets 4 & 5)

center support post for table at 2'-6" from back edge of concrete pad and centered from side to side  
center support posts for chairs at 2'-6" from back edge of concrete pad and 1'-9" in from sides; angle chairs 15° from parallel as shown

**3** Table & Chairs Locations — Plan  
scale: 1/4"=1'-0"



scale: 1/4"=1'-0"  
sheet: 15 of 48



landscape architecture & planning

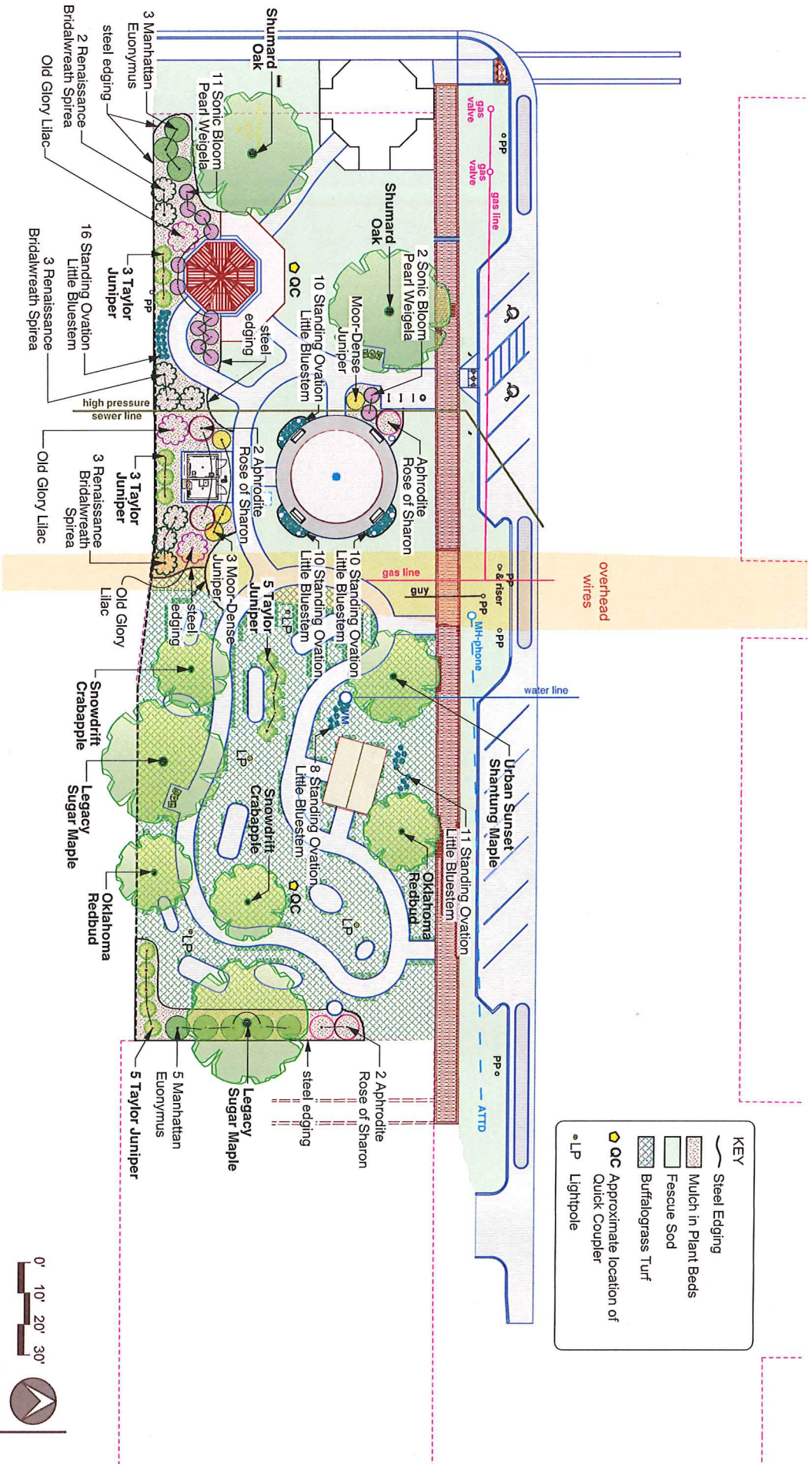
1415 E. 2nd Street N. Wichita, KS — 316-262-4525 — [www.fosterdesignassociates.com](http://www.fosterdesignassociates.com)

date: 11/1/2021

project: 19054.2

## Furnishings — Specifications & Locations

Depot Park — 100 S. Main Street, Kingman KS



**FOSTER DESIGN**  
Associates LLC

landscape architecture & planning

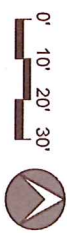
**NOTE:**  
Substitutions of plant varieties must be pre-approved by City.

1415 E. 2nd Street N. Wichita, KS — 316-262-4525 — www.fosterdesignassociates.com

**Landscape — Plan**  
Depot Park — 100 S. Main Street, Kingman KS

date: 11/1/2021 project: 19054.2

scale: 1"=30'-0"  
sheet: 16 of 48





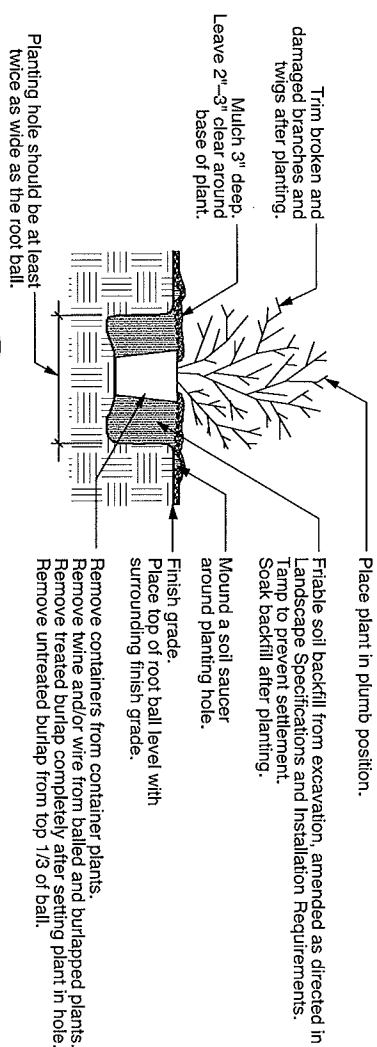
Plant Schedule			
Quantity	Common Name	Botanical Name	Specification
<b>TREES</b>			
2	Legacy Sugar Maple	<i>Acer saccharum</i> 'Legacy'	2' -2 1/2" Cal B&B
1	Uroan Sunset Shantung Maple	<i>Acer truncatum x platanoides</i> 'JFS-KW187' PP 27545	2' -2 1/2" Cal B&B
2	Oklahoma Redbud	<i>Cercis rantoniana</i> 'Oklahoma'	1 3/4" -2" Cal B&B
16	Taylor Juniper	<i>Juniperus virginiana</i> 'Taylor'	5'-6' height B&B
2	Snowdrift Crabapple	<i>Malus sp.</i> 'Snowdrift'	1 3/4" -2" Cal B&B
2	Shumard Oak	<i>Quercus shumardii</i>	2' -2 1/2" Cal B&B
25	Total Trees		
<b>SHRUBS</b>			
5	Rose of Sharon Aphrodite	<i>Hibiscus syriacus</i> 'Aphrodite'	5 gallon Container
8	Manhattan Euonymus	<i>Euonymus kaultschovicus</i> 'Manhattan'	5 gallon Container
4	Moor-Denise Juniper	<i>Juniperus sabina</i> 'Moorard'	5 gallon Container
8	Renaissance Bridalweath Spirea	<i>Spiraea x vanhouttei</i> 'Renaissance'	2 gallon Container
3	Old Glory Lilac	<i>Syringa x 'Old Glory'</i>	5 gallon Container
13	Weigela Sonic Bloom Pearl	<i>Weigela florida</i> 'Sonic Bloom Pearl'	2 gallon Container
41	Total Shrubs		
<b>ORNAMENTAL GRASSES</b>			
65	Standing Ovation Little Bluestem	<i>Schizachyrium scoparium</i> 'Standing Ovation'	1 gallon Container
65	Total Ornamental Grasses		

Note: In case of a discrepancy between the Plant Schedule and the Plans, the Plans govern.

### Turf & Materials Quantities

Steel Bed Edging — 555 LF  
 Mulch 3-1/2" deep in 3,560 SF of Plant Beds — 1,017 CF  
 Rescue Turf Sod — 833 SY on site  
 plus 415 SY in Sherman Avenue ROW  
 (Total: 1,248 SY)  
 Buffalo Grass Seed — 9,817 SF  
 (ADD ALTERNATE: Buffalo grass sod — 1,091 SY)

**NOTE:**  
 Contractor is responsible for verifying all quantities.



Trim broken and damaged branches and twigs after planting.  
 Leave 2"-3" clear around base of plant.  
 Mulch 3" deep.  
 Place plant in plumb position.  
 Finish grade.  
 Place top of root ball level with surrounding finish grade.  
 Mound a soil saucer around planting hole.  
 Fiable soil backfill from excavation, amended as directed in Landscape Specifications and Installation Requirements.  
 Tamp to prevent settlement.  
 Soak backfill after planting.  
 Remove containers from container plants.  
 Remove twine and/or wire from balled and burlapped plants.  
 Remove treated burlap completely after setting plant in hole.  
 Remove untreated burlap from top 1/3 of ball.  
 Planting hole should be at least twice as wide as the root ball.



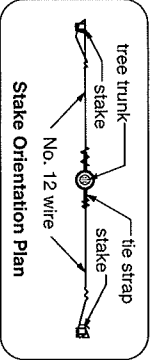
landscape architecture & planning

1415 E. 2nd Street N. Wichita, KS — 316-262-4525 — www.fosterdesignassociates.com

date: 11/1/2021 project: 19054.2

### Landscape — Quantities & Shrub Planting Diagram

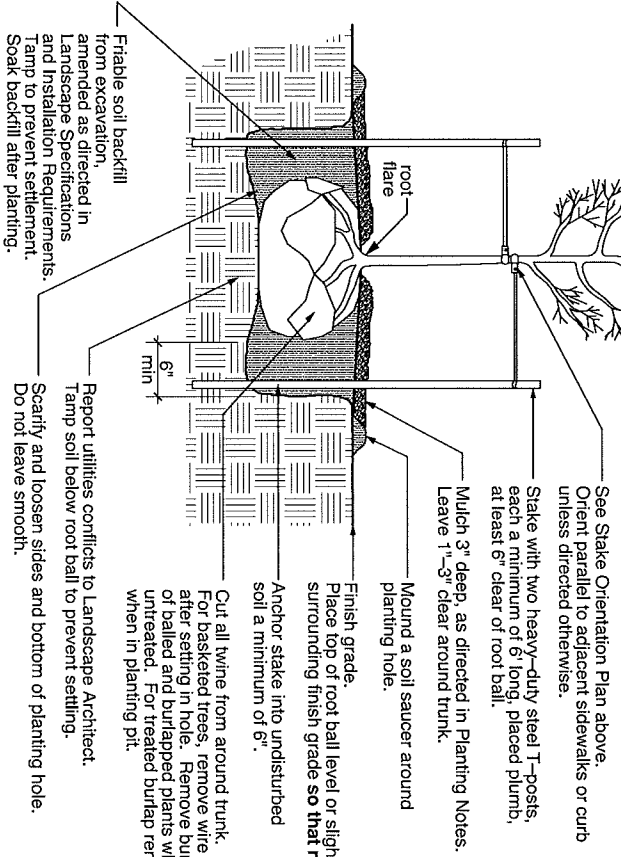
Depot Park — 100 S. Main Street, Kingman KS



When a central leader is typical, trees without a central leader will not be accepted.

Trim broken and damaged branches and twigs after planting.

Place trunk in plumb position.



See Stake Orientation Plan above. Orient parallel to adjacent sidewalks or curb unless directed otherwise.

Stake with two heavy-duty steel T-posts, each a minimum of 6' long, placed plumb, at least 6" clear of root ball.

Mulch 3" deep, as directed in Planting Notes. Leave 1"-3" clear around trunk.

Mound a soil saucer around planting hole.

Finish grade. Place top of root ball level or slightly raised above surrounding finish grade so that root flare is visible.

Anchor stake into undisturbed soil a minimum of 6".

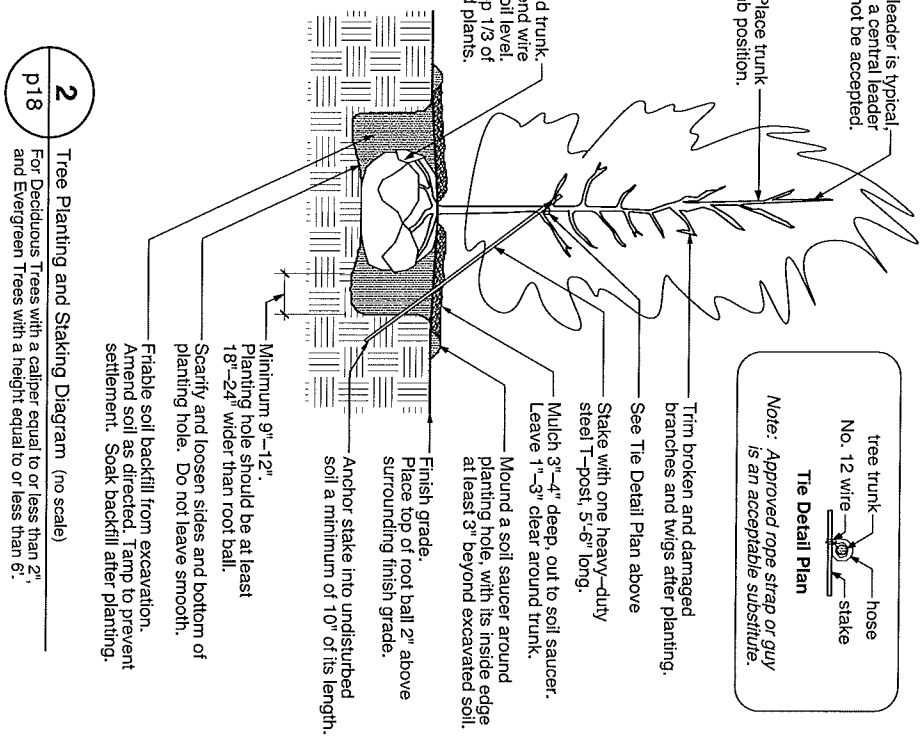
Cut all twine from around trunk. For basketed trees, remove wire from top 2/3 of ball after setting in hole. Remove burlap from top 1/3 of balled and burlapped plants when burlap is untied. For treated burlap remove from ball when in planting pit.

**1** Tree Planting and Staking Diagram (no scale)  
p18 For Deciduous Trees with a caliper greater than 2".

When a central leader is typical, trees without a central leader will not be accepted.

Place trunk in plumb position.

Cut all twine from around trunk. For basketed trees, bend wire 4"-6" below finished soil level. Remove burlap from top 1/3 of balled and burlapped plants.



**2** Tree Planting and Staking Diagram (no scale)  
p18 For Deciduous Trees with a caliper equal to or less than 2", and Evergreen Trees with a height equal to or less than 6'.

## PLANTING SPECIFICATIONS

1. The Landscape Contractor must provide all plants, materials, planting and equipment to complete the installation of trees, shrubs, planting beds and turf areas according to these specifications and the planting plan. The Landscape Contractor is responsible for repair to disturbed areas as directed by the City representative.
2. Prior to landscape work, flag all underground utilities by calling Kansas One-Call (Phone: 1-800-344-7233).
3. Notify the City representative of variances between the plan and site conditions which affect planting operations.
4. The General Contractor is responsible for rough grading. The Landscape Contractor is responsible for finished grading prior to grass installation and planting operations.
5. Prior to the start of fine grading, the Landscape Contractor must spray to kill weeds and grass in planting bed and lawn areas. Use Round-up or a similar chemical in as many applications as required for a complete kill.
6. **PLANTING SEASONS:** For trees, shrubs, and ornamental grasses, fall planting season is September 1st through October 31st, and spring planting season is April 1st through June 30th. Any plant installations outside of these dates must be pre-approved by the City representative.

## GRASS INSTALLATION

1. Grass seed or sod must be applied to all open and disturbed areas on site. Install grass in a method approved by the City representative in accordance with local practices.
2. **FESCUE:** Apply Turf Blend<sup>1</sup> Tall Fescue Seed at a rate of 10 pounds per 1,000 square feet to areas shown on Landscape Plan as "Fescue Turf". Apply starter fertilizer with a 10-20-10 analysis to Fescue areas as per Manufacturer's recommendation.
3. **BUFFALOGRASS:** Apply an approved cultivar of Buffalograss Seed at a rate of 3 pounds per 1,000 square feet to areas shown on Landscape Plan as "Buffalograss".  
Provide **Bid Alternate** for an approved fine-bladed **Fescue Blend Sod**.
4. **PLANTING SEASONS:** For grass, fall seeding season is September 1st through October 15th. Spring seeding season is from March 15th through May 15th. Any plant installations outside of these dates must be pre-approved by the City.
5. Notify City representative of the schedule for grass installation to avoid conflicts with other contractors and interference with the watering schedule necessary for newly installed grass.

## MATERIALS AND INSTALLATION REQUIREMENTS

Materials must be approved by the City representative before start of work. Materials and grass seed or sod may be rejected at any time during the installation.

**Plant Materials** must meet current standards of the American National Standards Institute, and exhibit a vigorous and healthy condition.

**Steel Edging** must be installed as shown on Plans, forming smooth curved or straight lines between mulched areas and turf. Use Ryerson Steel Edge (1/8"x4"x16") or equal product, and stake as recommended by Manufacturer.

**Topsoil** must be provided by the Landscape Contractor as required for finished grading. This is intended only for low areas of the rough grade or for planting beds, and not for the entire site.

Topsoil must be fertile, friable, natural loam with a pH of 5.5-7.0 and capable of sustaining vigorous plant growth. It must be free of subsoil, stones, clods or hard earth, plants or their roots, sticks, or other extraneous matter. It must not be installed while in a muddy condition.

**Soil Amendments** For planting backfill, use 4 parts soil from excavation to 1 part "Back to Earth" cotton bur compost or horticultural peat moss.

**Fertilizer** For planting backfill, use Milorganite (6-2-0) or other approved product installed per Manufacturer's instructions.

**Mulch** must be premium grade cypress or recycled hardwood mulch, applied to plant bed areas 3" to 3-1/2" deep.

Rake the ground surface smooth prior to mulch installation.

**Pre-emergent weed control** must be dacthal, trifluralin or approved similar product. Install per Manufacturer's instructions in all planting beds. Do not install around trees located in turf areas outside of plant beds.

**Tree Wrap** must be 4" Forces or DeVit Tree Wrap or approved similar product. Securely wrap newly planted trees from ground level to second level of branches on the trunk.

## MAINTENANCE, ACCEPTANCE AND GUARANTEE

1. Prior to project acceptance by the City, the Landscape Contractor is responsible for **maintaining plant bed and grass areas**, keeping them watered, clean and weed free.

2. When landscape work is completed, the Landscape Contractor and Landscape Architect will meet to review the installation. If the installation is in accordance with the plans and specifications, the Landscape Architect will accept the work. If not, the Landscape Architect may require additional work before acceptance.

3. **GUARANTEE:** The Landscape Contractor must guarantee spring-planted plants from planting through the following August 15th, and fall-planted plants from planting through June 1st.

At the end of the guarantee period the Landscape Architect and Landscape Contractor will meet to review the installation for required replacements. Dead plants and those not in a vigorous, thriving condition must be replaced by the Landscape Contractor in the following planting season with plants as originally specified.

**Turf areas** which are not in acceptable condition must be reseeded or resodded immediately in the same planting season, or if weather conditions require, in the following season.

Except when plant loss or damage is due to **vandalism**, there must be no additional cost to the City for replacement plants.



landscape architecture & planning

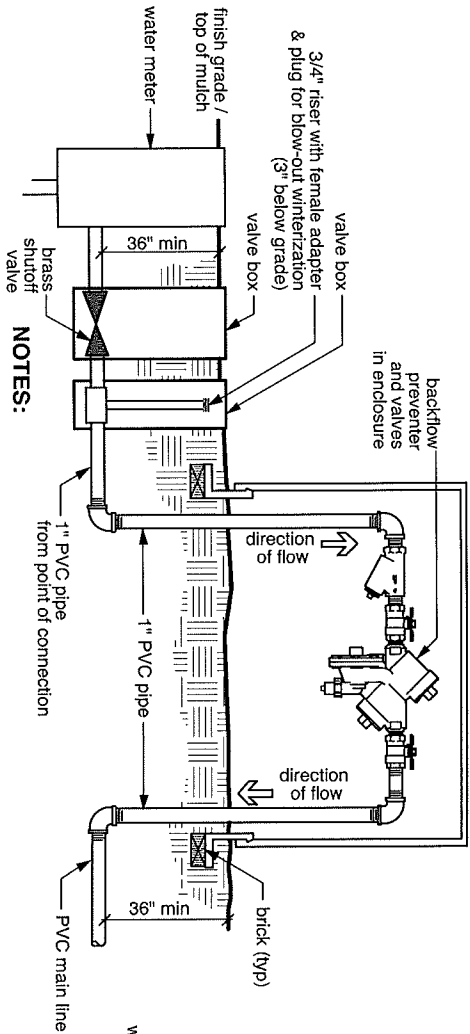
1415 E. 2nd Street N., Wichita, KS — 316-262-4525 — www.fosterdesignassociates.com

date: 11/1/2021

project: 19054.2

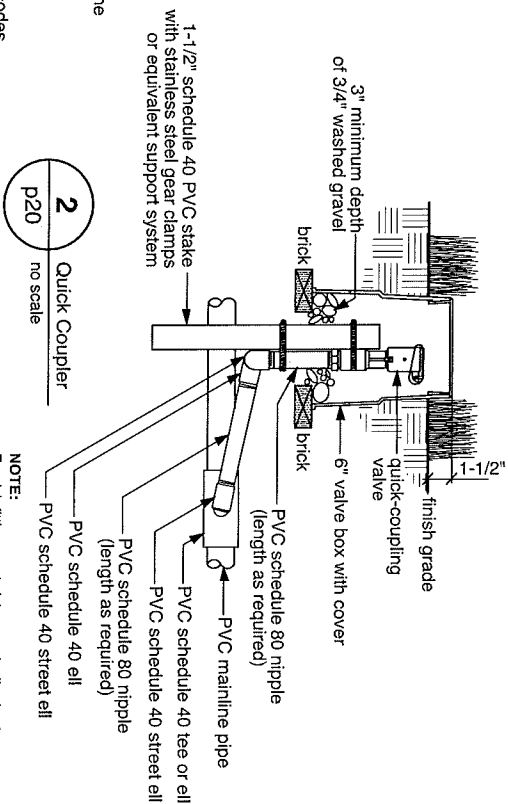
sheet: 19 of 48

**Landscape — Specifications**  
Depot Park — 100 S. Main Street, Kingman KS



- NOTES:**
1. Furnish nominal size pipe and fittings to nominal size of Backflow Preventer.
  2. Installation of Backflow Preventer shall comply with all applicable local and state codes.

**1** Water Supply Detail & Backflow Preventer Diagram  
p20 no scale



**NOTE:**  
Furnish fittings and piping nominally sized identical to nominal quick coupling valve inlet size.

**2** Quick Coupler  
p20 no scale

## IRRIGATION SPECIFICATIONS

1. Shrub beds and fescue turf areas to be irrigated. Buffalograss areas will **not** be irrigated.
2. Contractor will be responsible for installing a **new water meter and backflow preventer** in Depot Park, sized to support water use by the Splashpad, Restroom, Drinking Fountain, and Irrigation system. (See Detail 1 on this page.)
3. Irrigation Contractor to verify **existing static water pressure** on site before design and installation of irrigation system.
4. The City standard for irrigation equipment is **Rain Bird**. Other equal products by other manufacturers must be pre-approved by the City representative.



**FOSTER DESIGN**  
Associates LLC

landscape architecture & planning

1415 E. 2nd Street N. Wichita, KS — 316-262-4525 — www.fosterdesignassociates.com

date: 11/1/2021

project: 19054.2

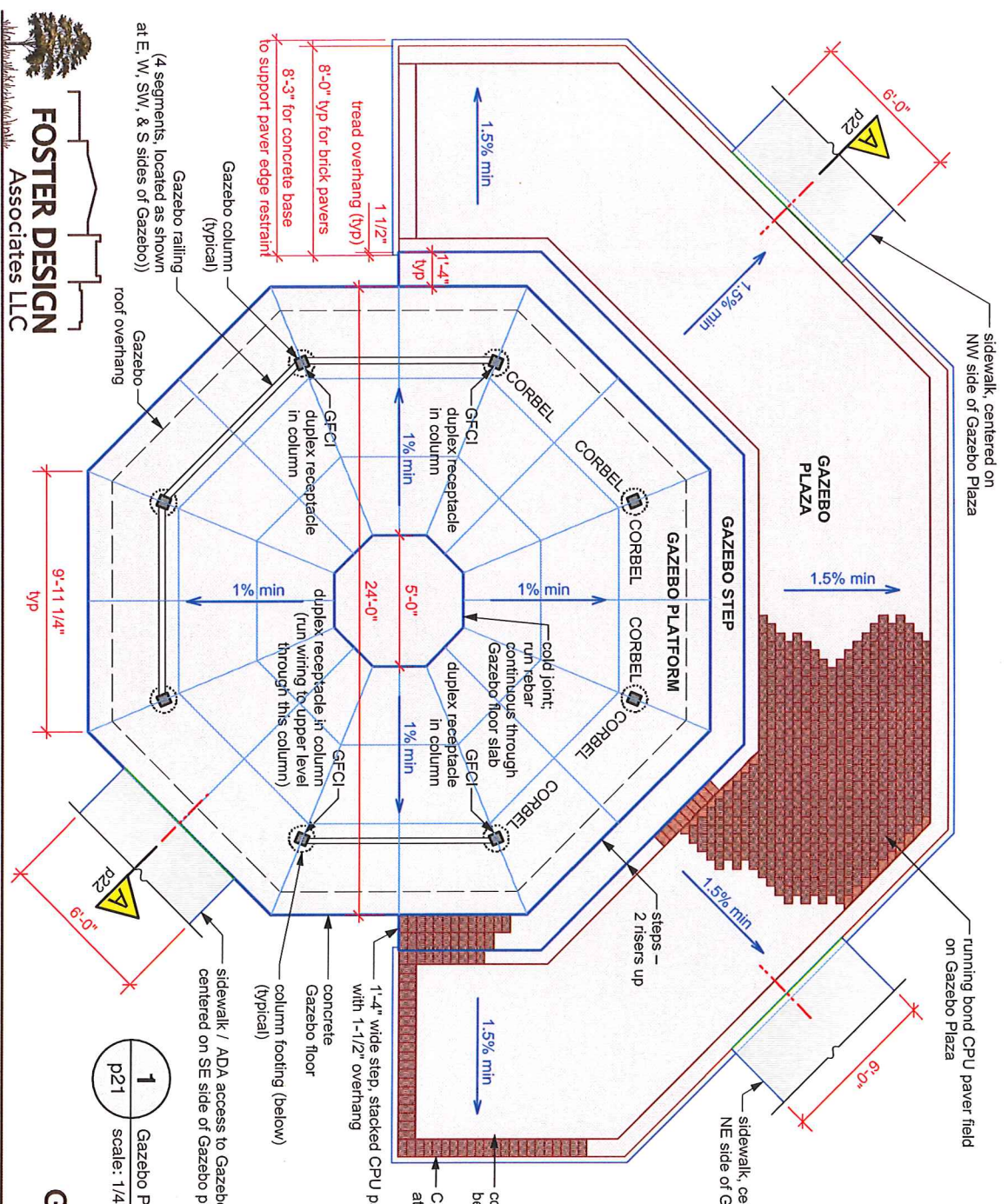
sheet: 20 of 48

## Irrigation — Details & Specifications

Depot Park — 100 S. Main Street, Kingman KS

5. Irrigation Contractor is responsible for **irrigation system design and installation of all equipment** necessary to make a complete irrigation system for the site, including existing shrub beds at Clocktower Plaza, which complies with these Specifications and all applicable local codes and regulations.
6. Irrigation Contractor must coordinate with General Contractor for installation of any necessary sleeves beneath concrete. All sleeving to be Schedule 40 PVC, provided by General Contractor.
7. Irrigation Contractor to coordinate installation of piping, valves, sprinkler heads, and wiring in planting beds with placement of amended topsoil fill.
8. All lateral piping to be 1" schedule 200 PVC. Connections between lateral piping and the sprinkler heads to be installed with **swing pipe**.
9. Irrigation system to include **wireless rain sensor**.
10. Irrigation Contractor is responsible for installation of **blowout system** for system winterization. (Blowout points at backflow preventer.)

11. Provide **two (2) Quick Couplers** in valve boxes on site as part of the irrigation system. (See Detail 2 on this page.) Locate each Quick Coupler about halfway between the north and south boundaries of the Park; place one about 50 feet east of the west boundary, and the other about 50 feet west of the east boundary. (See Landscape Plan sheet 15 for approximate locations.)
12. **Irrigation Controller** to be mounted inside Utility Room of Restroom building as shown on Restroom plan and interior elevations (sheets 25 & 26).
13. Batteries in the Wireless Rain Sensor and Controller will be changed by Owner each spring, at irrigation system startup, as per Manufacturer's specifications.



**CORBELS NOTE:**  
Corbels to be installed in NW, N, & NE sides of Gazebo only.

**PAVERS** to be Pavestone brick-style concrete paver units (CPUs) in Kansas City/ "Oaks Blend" color mix; OR EQUAL.

**PAVER EDGE RESTRAINT** to be Permaloc aluminum edge restraint; OR EQUAL.

**Quantities**

Plaza Pavers: 457 SF  
Paver Edge Restraint: 86 LF  
Gazebo Platform: 477 SF  
Gazebo Step: 44 LF / 56 SF



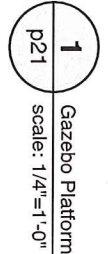
landscape architecture & planning

1415 E. 2nd Street N. Wichita, KS — 316-262-4525 — www.fosterdesignassociates.com

date: 11/1/2021 project: 19054.2

# Gazebo Platform & Plaza — Plan

Depot Park — 100 S. Main Street, Kingman KS



sheet: 21 of 48

## Gazebo Specifications

GAZEBO to be 24-foot octagonal, with two-tiered 12:5 roof with cupola — **Carnel Clerestory Model GCO2-24 by Polygon**, including State of Kansas engineering stamp on drawings for Gazebo and footings, OR EQUAL.

### FRAME:

- Columns — plain square K01.
- Baseplate covers — S43.
- Clerestory — standard reveal.
- Finish — Polt-5000 powdercoat.
- Frame Color — Arctic Ice.

### ROOF:

- Roof — Standing Seam metal roof. □
- Roof Color — Colonial Red.
- Roof Deck — SIP (white embossed panel over OSB).

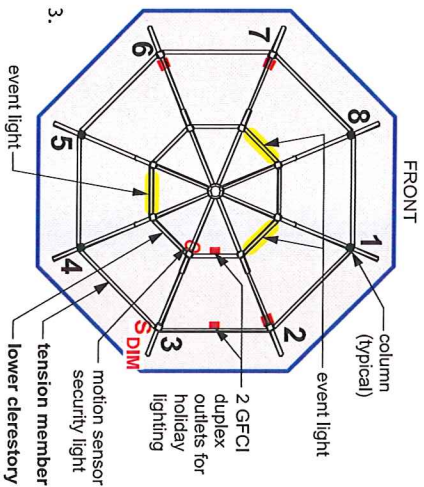
### ORNAMENTATION:

- Overhead, Upper & Cupola Ornamentation — Diamond O1 (8 sides)
- Corbels — Six (6) Diamond pattern corbels.
- Railing on four (4) sides — 36" Diamond Railing with standard cap.
- Cupola — CFC (frame style with 18:12 pitch)

[No Gutters, Solar Lighting, Windscreens, or Integrated Seating.]

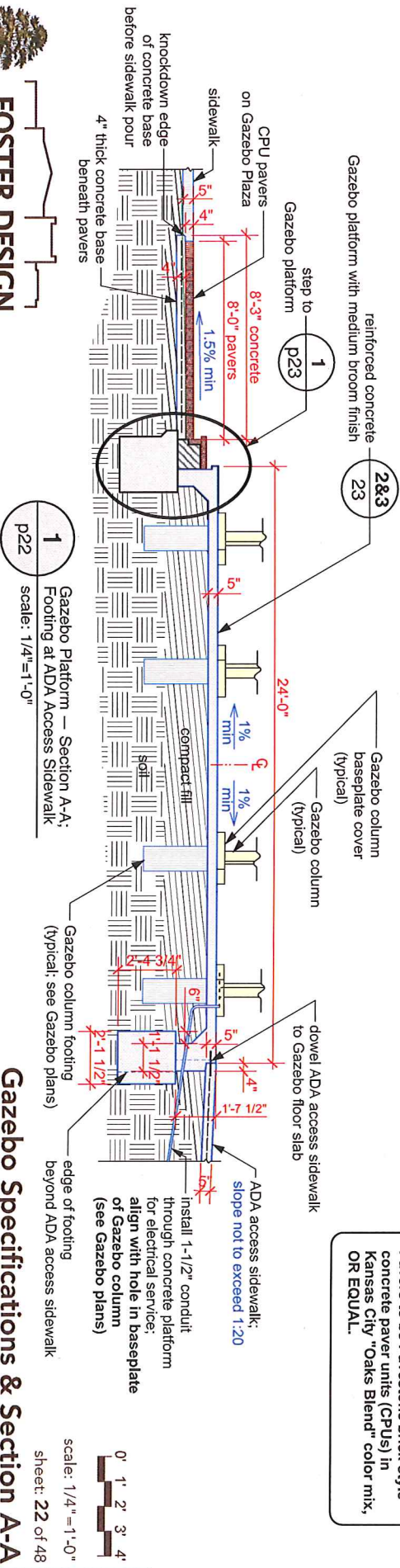
### ELECTRICAL ACCESS (Total of 10 cutouts):

- Three cutouts — one each on interior face of Columns 2, 6 & 7, for GFCI duplex receptacle with lockable, weatherproof vertical outlet cover, at 24 inches above finish floor to bottom of cutout.
- For Holiday Lighting — Two cutouts — one each on interior face of tension member, and on interior face of upper clerestory, between Columns 2 & 3, for GFCI duplex receptacle with lockable, weatherproof, horizontal in-use outlet cover.
- For Security Lighting — One cutout — on inside of J-Column, at truss extending from Column 3.
- For Event Lighting — Three cutouts for lights — one each on bottom side of lower clerestory, between Columns 1&2, 4&5, and 7&8. One cutout for switch to control event lighting, on back (SW side) of column 3, at 48 inches above finish floor to bottom of cutout.



**Gazebo Electrical Plan Key**  
(not to scale)

Pavers to be Pavestone brick-style concrete paver units (CPUs) in Kansas City "Oaks Blend" color mix, OR EQUAL.



scale: 1/4" = 1'-0"  
sheet: 22 of 48



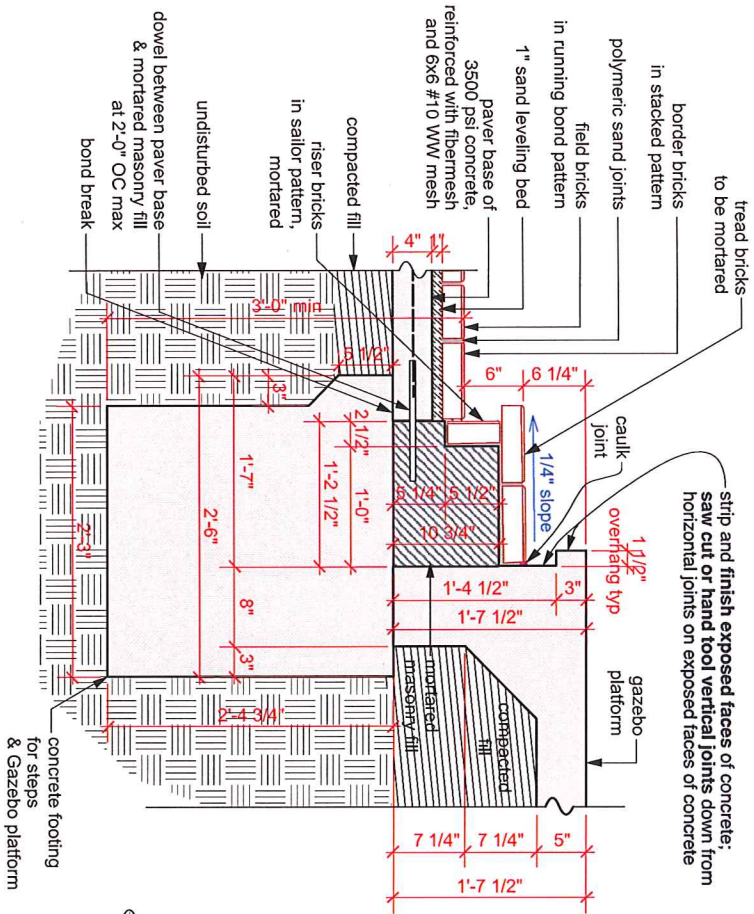
landscape architecture & planning

1415 E. 2nd Street N. Wichita, KS — 316-262-4525 — www.fosterdesignassociates.com

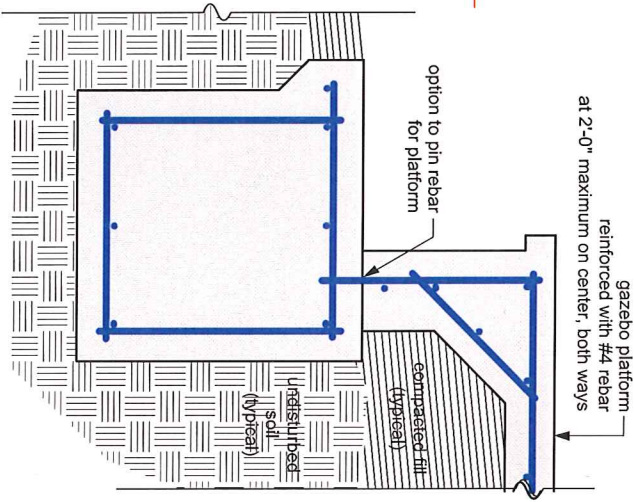
date: 11/1/2021 project: 19054.2

## Gazebo Specifications & Section A-A

Depot Park — 100 S. Main Street, Kingman KS



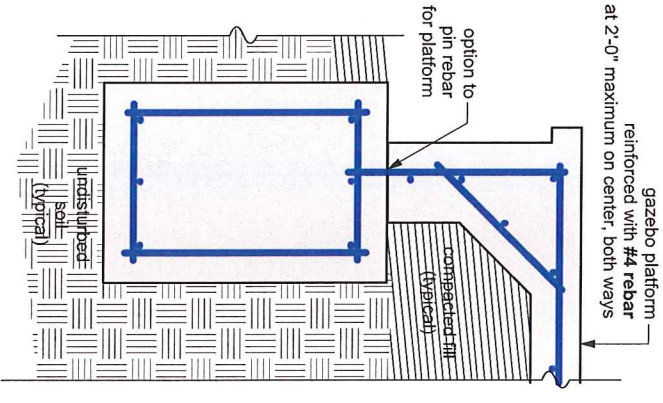
**1** Gazebo Platform — Section at Step  
 p23 scale: 1"=1'-0"



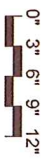
**2** Gazebo Platform — Footing Reinforcement at Step  
 p23 scale: 1"=1'-0"

**KEY**

- #6 REBAR HORIZONTAL CONTINUOUS, 3" minimum from surface except for Gazebo platform slab
- #6 REBAR VERTICAL, 3" minimum from surface



**3** Gazebo Platform — Footing Reinforcement at Back  
 p23 scale: 1"=1'-0"



scale: 1"=1'-0"  
 sheet: 23 of 48

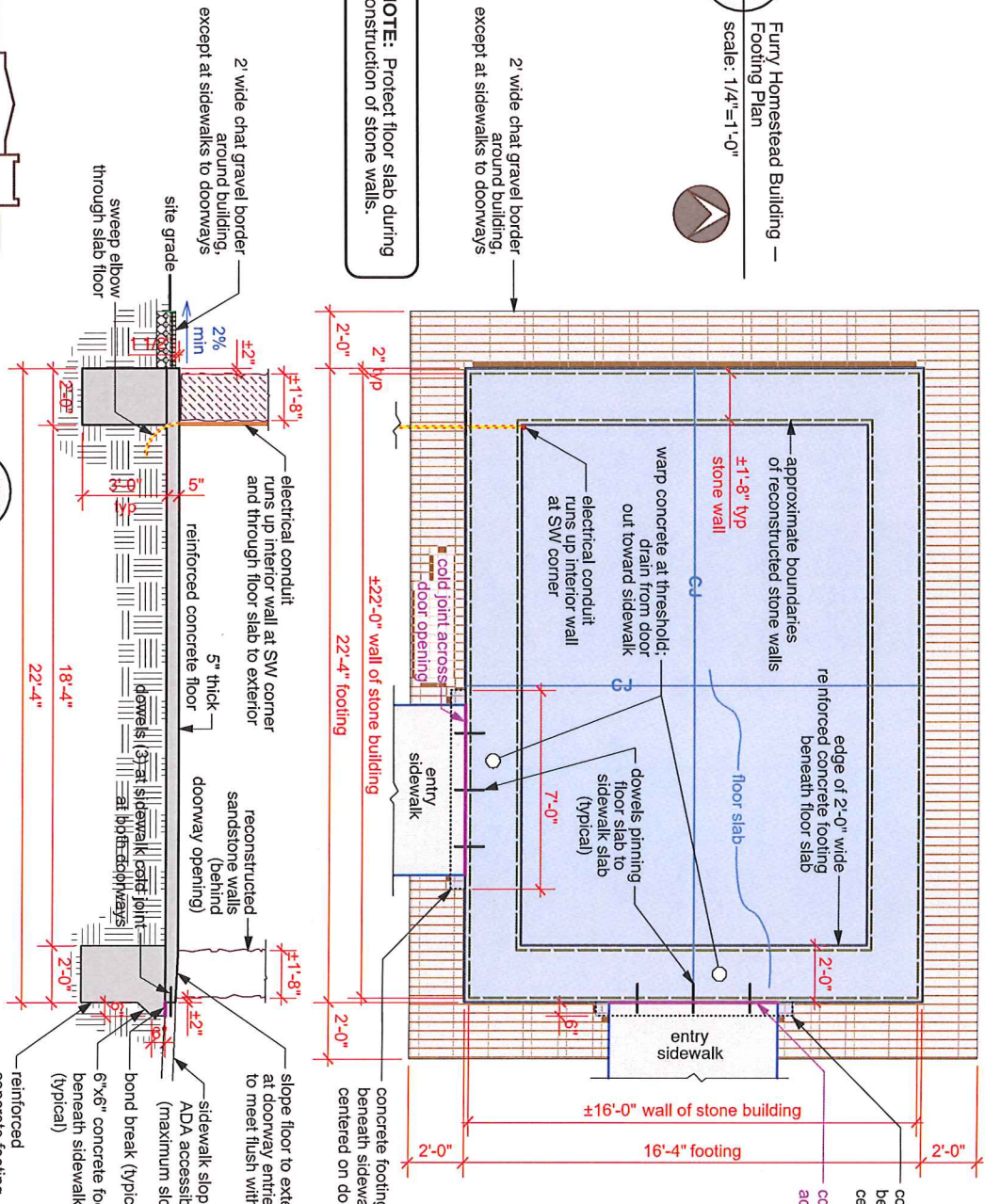
1  
p24

Furry Homestead Building —  
Footings Plan  
scale: 1/4" = 1'-0"



**NOTE:** Protect floor slab during construction of stone walls.

2' wide chat gravel border  
around building,  
except at sidewalks to doorways



concrete footing ledge  
beneath sidewalk,  
centered on door opening  
cold joint  
across door opening

Furry Homestead walls  
are reported to be 18-20 inches thick.  
**VERIFY WIDTH  
of Furry Homestead building stone walls,  
and location and dimensions of  
DOOR OPENINGS  
prior to placing footings.**

General Contractor is responsible  
for construction of Furry Homestead  
footings, floor slab, & chat gravel border.  
**COORDINATE construction  
of Furry Homestead building  
footings and floor slab with  
historic reconstruction mason  
Jon Pancost.**  
Jon Pancost  
Bluestem Quarry and Stoneworks  
5010 Highway 232  
Lucas, KS 67648  
(866) 567-3110  
jon.stonecottagetfarm@gmail.com



landscape architecture & planning

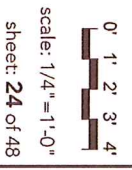
2  
p24

Furry Homestead Building — Footing Section  
scale: 1/4" = 1'-0"

1415 E. 2nd Street N. Wichita, KS — 316-262-4525 — www.fosterdesignassociates.com

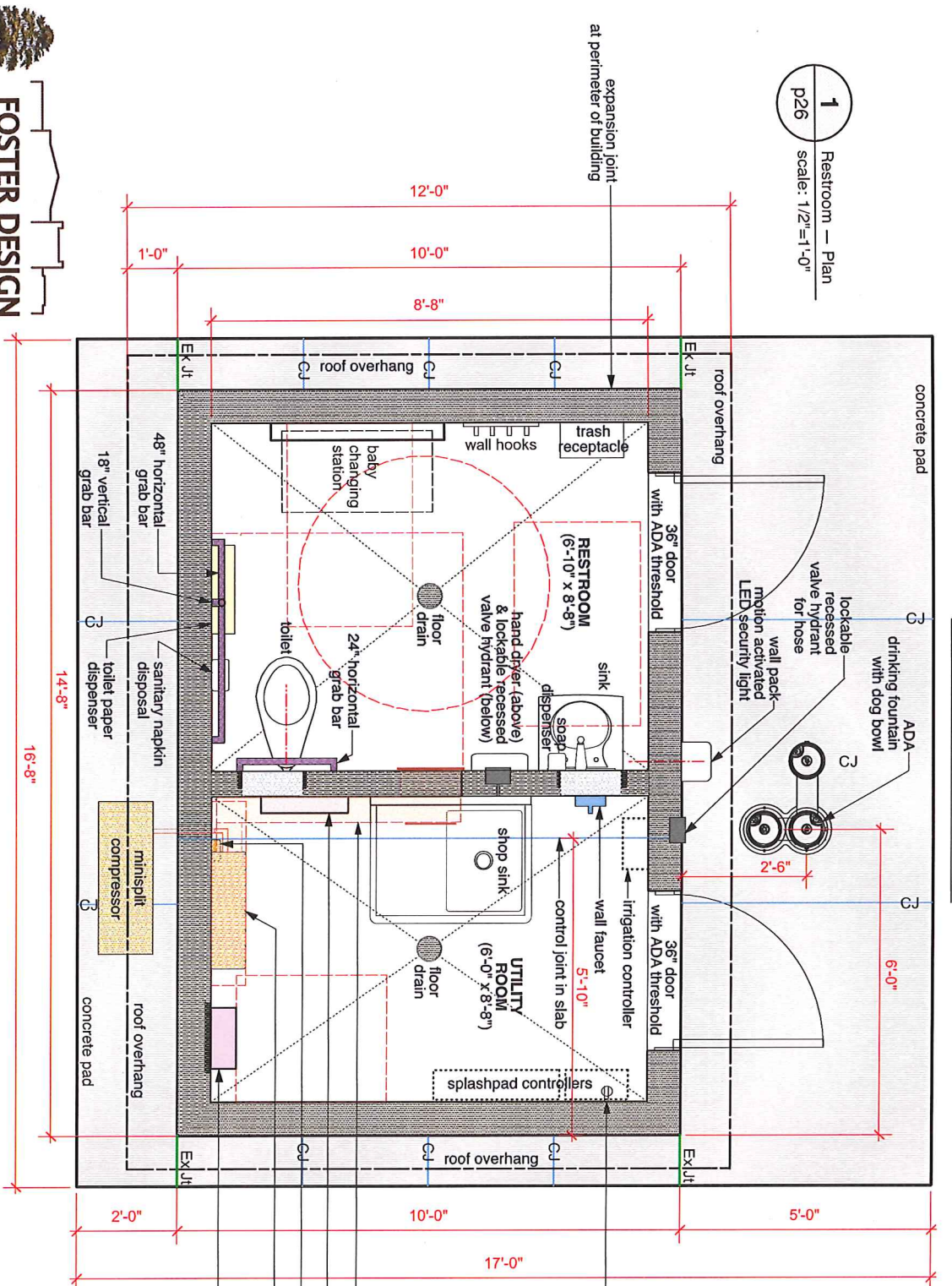
**Furry Homestead Building**  
— Footing Plan & Section  
Depot Park — 100 S. Main Street, Kingman KS

date: 11/1/2021 project: 19054.2









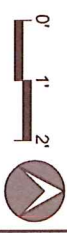
**NOTE:**  
 Coordinate concrete slab installation with installation of plumbing for drinking fountain.

**NOTE:**  
 Coordinate connection of drains to sanitary sewer with City representative.

GFCI duplex outlet, at 30" above floor (below controllers)

**EXTERIOR WALLS** of 8x8x16 split-face CMU  
**INTERIOR WALL** of 6x8x16 smooth CMU

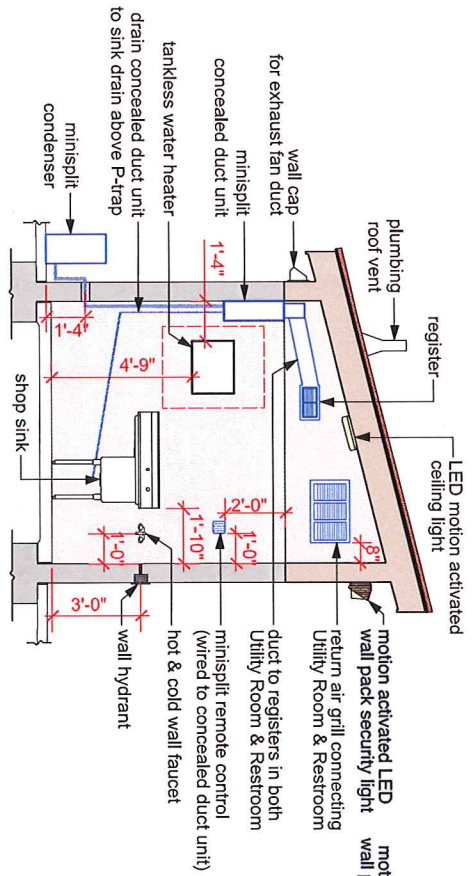
- minisplit duct (above)
- tankless water heater (below duct)
- minisplit remote controller (below)
- minisplit concealed duct unit (Minimum Clearances: 4" on left side, 12" on right side, 6" below)
- electrical panel (Minimum Clearances: 30" width, 36" in front)



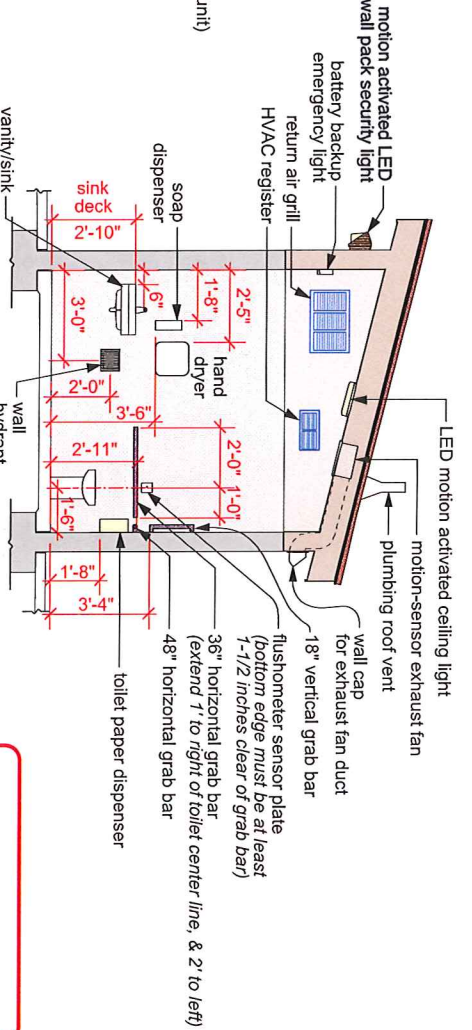
scale: 1/2"=1'-0"  
 sheet: 26 of 48

**Restroom — Plan**

Depot Park — 100 S. Main Street, Kingman KS



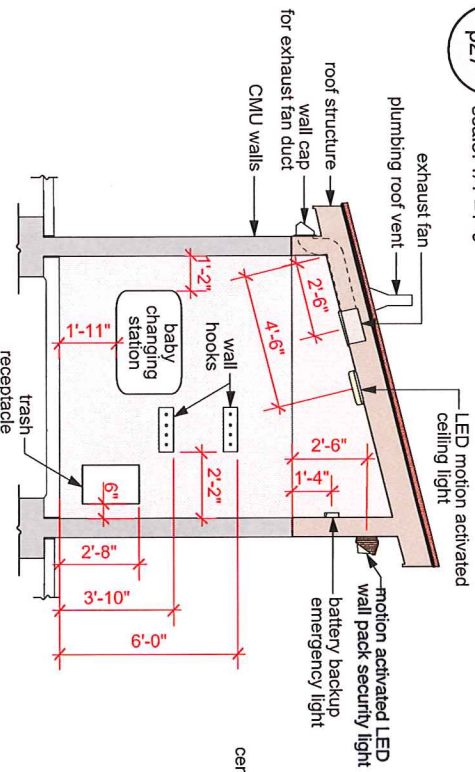
(P-trap drain to be in Utility Room to avoid need for ADA shroud under sink)



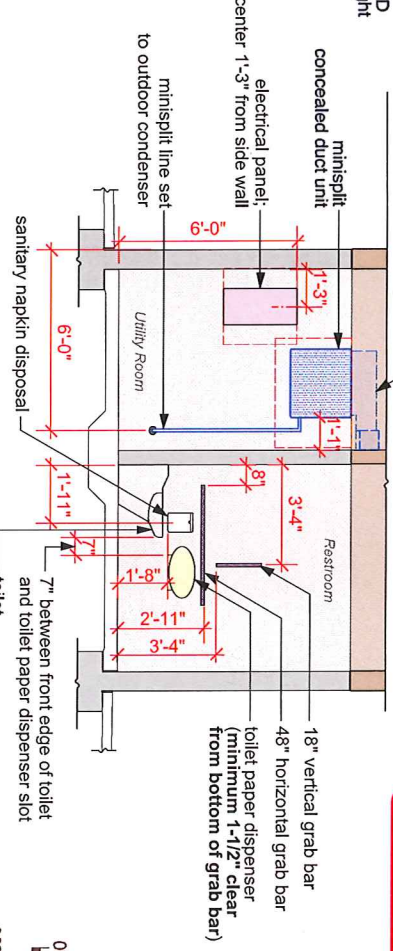
**1** Restroom Building / Utility Room — West Wall Interior Elevation  
scale: 1/4"=1'-0"

**3** Restroom Building / Restroom — East Wall Interior Elevation  
scale: 1/4"=1'-0"

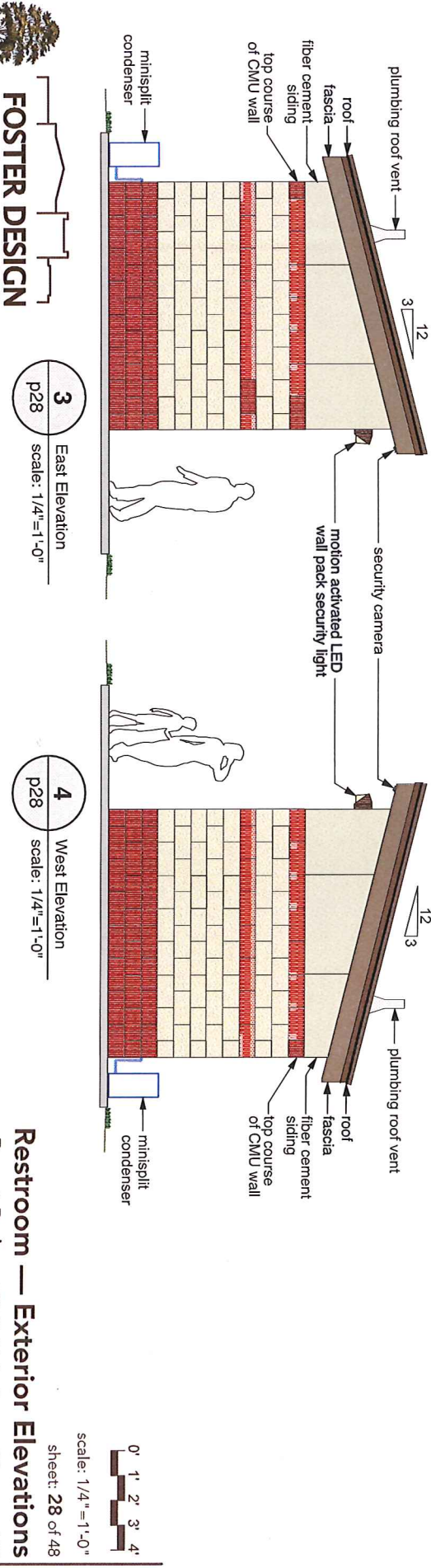
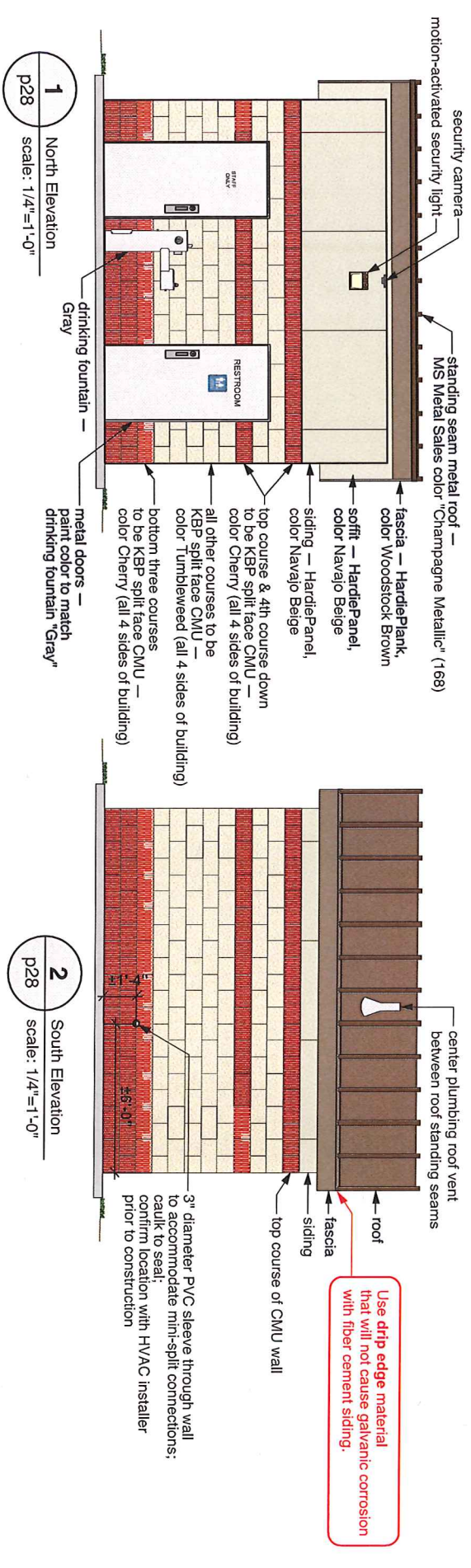
**NOTE:**  
Installation locations for all interior fixtures must meet ADA requirements.



**2** Restroom Building / Restroom — West Wall Interior Elevation  
scale: 1/4"=1'-0"



**4** Restroom Building — South Wall Interior Elevation  
scale: 1/4"=1'-0"

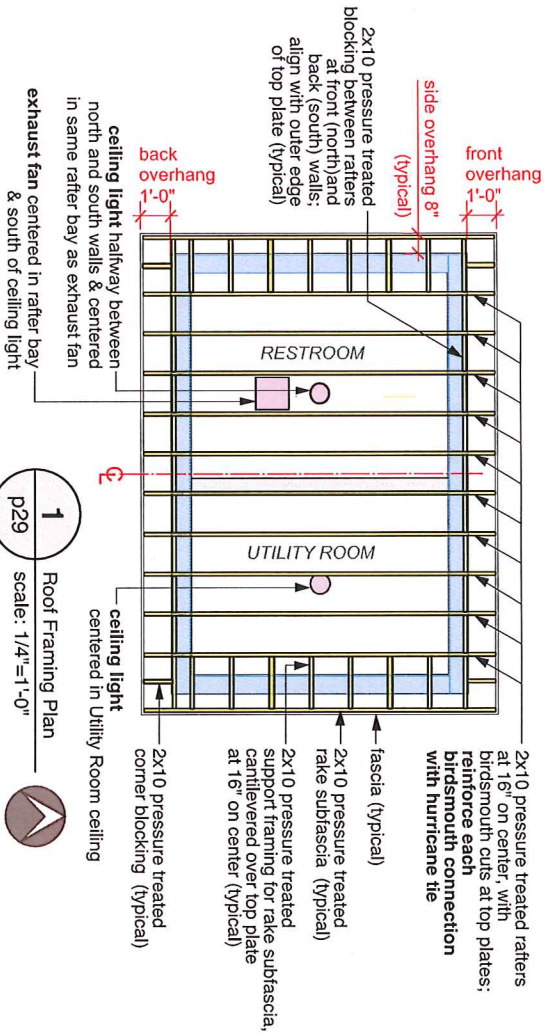


**FOSTER DESIGN**  
Associates LLC

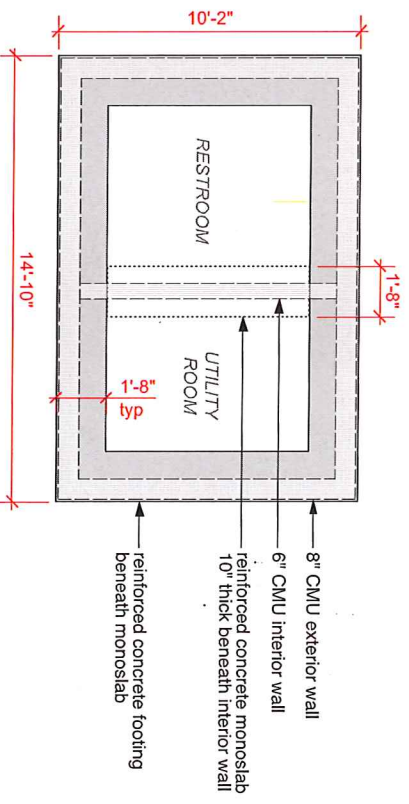
1415 E. 2nd Street N. Wichita, KS — 316-262-4525 — www.fosterdesignassociates.com

Restroom — Exterior Elevations  
Depot Park — 100 S. Main Street, Kingman KS

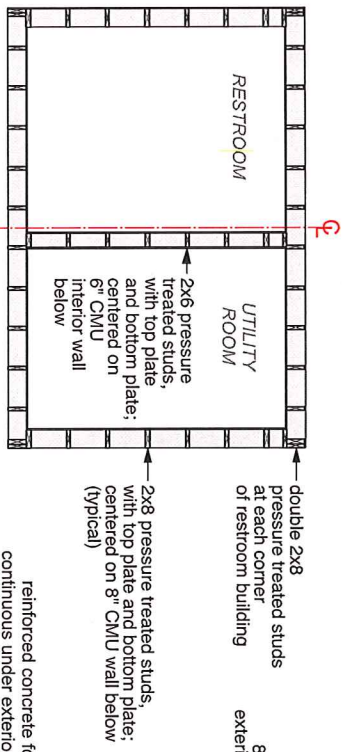
date: 11/1/2021 project: 19054.2



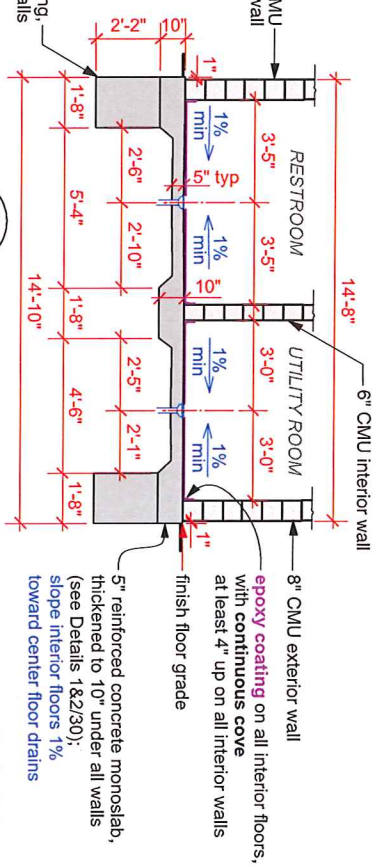
**1** Roof Framing Plan  
p29 scale: 1/4"=1'-0"



**3** Footing Plan  
p29 scale: 1/4"=1'-0"



**2** Cripple Studs Framing Plan  
p29 scale: 1/4"=1'-0"



**4** Foundation Section  
p29 scale: 1/4"=1'-0"



landscape architecture & planning

1415 E. 2nd Street N. Wichita, KS — 316-262-4525 — www.fosterdesignassociates.com

date: 11/1/2021 project: 19054.2

# Restroom — Framing & Foundation

Depot Park — 100 S. Main Street, Kingman KS

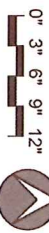
0' 1' 2' 3' 4'  
scale: 1/4"=1'-0"  
sheet: 29 of 48

**Footing Reinforcement & General Notes**

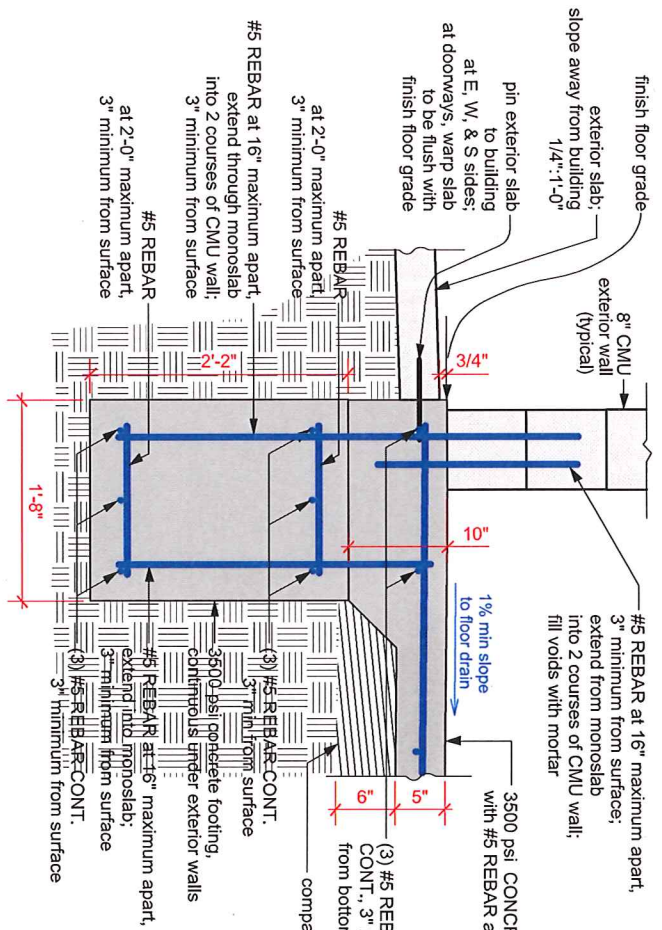
**Restroom —**

sheet: 30 of 48

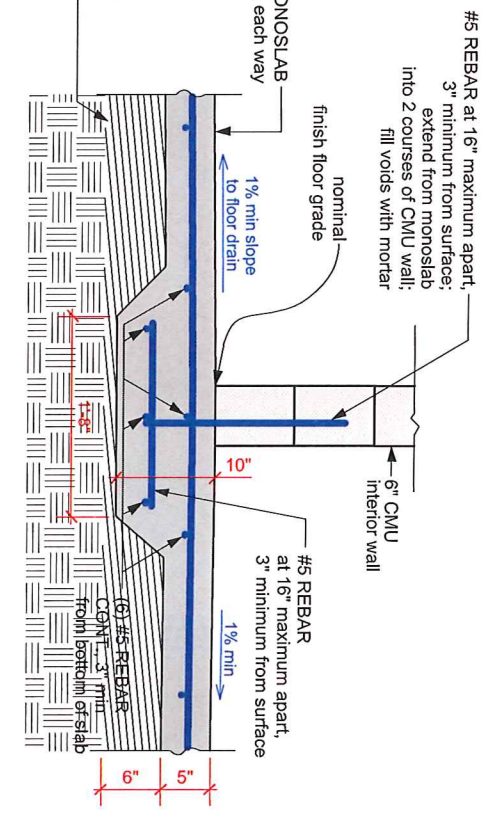
scale: 1"=1'-0"



**1**  
p30  
Restroom — Footing & Monoslab Reinforcement  
scale: 1"=1'-0"



**2**  
p30  
Restroom — Footing & Monoslab Reinforcement  
scale: 1"=1'-0"

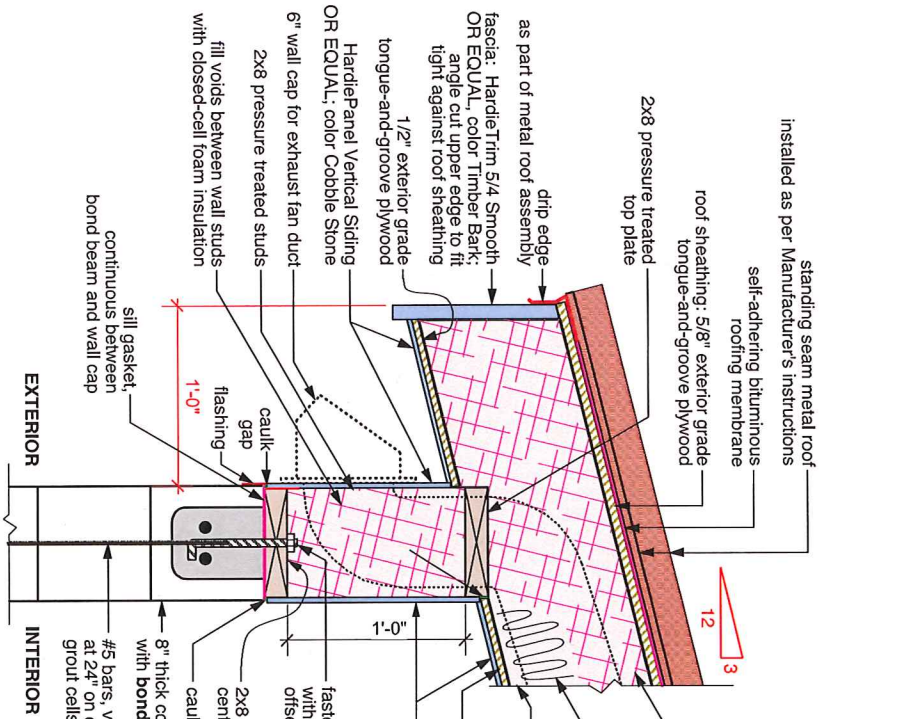


**RESTROOM — GENERAL NOTES**

- 1. WATER REPELLANT:** CMUs and mortar to have integral water repellent. In addition, after final cleaning, field-apply a moisture-vapor permeable water repellent.
- 2. Install ladder-type horizontal joint reinforcement at 16" O.C.**
- 3. REBAR:** Install vertical rebar reinforcement with grouted cells at 24" maximum intervals, and at each side of each door opening. Extend rebar full height of CMU wall.
- 4. BOND BEAMS:** Top course of wall to be reinforced bond beam. Each door opening to be spanned by additional reinforced bond beam.
- 5. JOINTS:** Tool mortar joints to a concave profile.
- 6. INSULATION:** All CMU cells without rebar to be filled with loose fill perlite insulation.

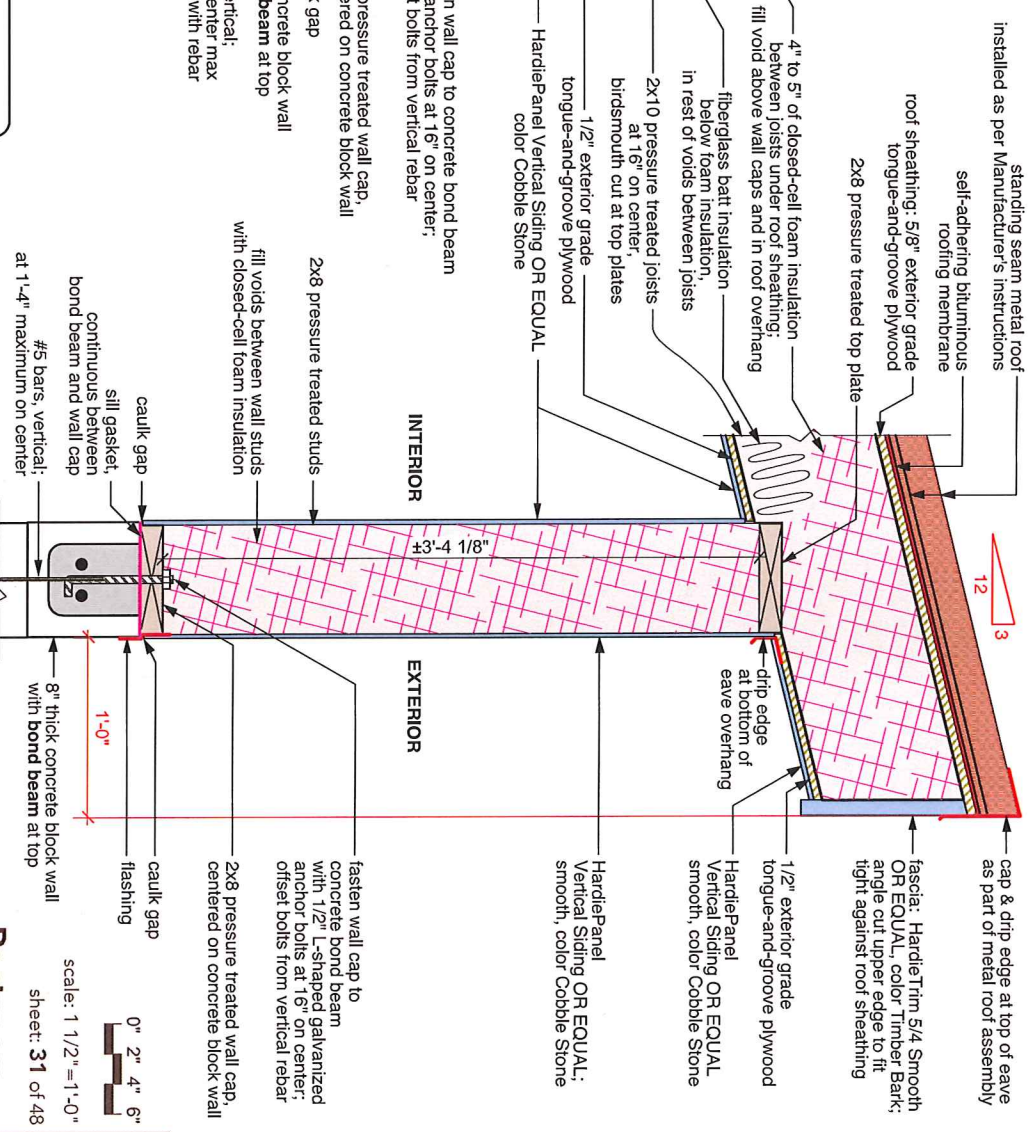
**Restroom —**  
**Wall-Roof Sections**  
Depot Park — 100 S. Main Street, Kingman KS

**1**  
Restroom Building —  
Roof Connection at Back (South) Wall  
p31  
scale: 1 1/2" = 1'-0"



**NOTE:** Mason to cut openings to form bond beams of split-face CMUs.

**2**  
Restroom Building —  
Roof Connection at Front (North) Wall  
p31  
scale: 1 1/2" = 1'-0"



0" 2" 4" 6"  
scale: 1 1/2" = 1'-0"  
sheet: 31 of 48

#### RESTROOM BUILDING — GENERAL NOTES

1. All furnishings and equipment to be "OR EQUAL". Any substitutions must have prior approval by City.
2. **UTILITY ROOM NIC:** Soap Dispenser, Trash Receptacle, Hose, Hose Rack and Storage Shelving are all by City, and Not in Contract.
3. **UTILITY ROOM CONTROLLERS:** Controllers for Splashpad valves and lighting to be by Splashpad subcontractor. Controller for irrigation system to be by Irrigation subcontractor.
4. **PLUMBING:** As much as possible of the Restroom plumbing should be concealed in the Utility Room.
5. **ELECTRICAL:** Panel, wiring, and accessories to be supplied by electrical subcontractor, as necessary for complete system. General Contractor to provide lightpoles and lighting fixtures.
6. **CONCRETE MASONRY UNITS:** All concrete masonry units must comply with ASTM C90-02, and must be manufactured with an **integral water repellent**.  
Split Face blocks from two or more cubes must be mixed as they are being laid.  
Lay in running bond pattern.  
Mortar used with the CMUs must contain a **water repellent**.
7. **PAINT:** All interior CMU walls to have smooth hard nonabsorbent surface. Clean all interior CMU surfaces with KILZ Concrete & Masonry Cleaner & Etcher OR EQUAL, then finish interior CMU walls with at least two coats of KILZ Basement & Masonry Waterproofor OR EQUAL.
8. **EPOXY FLOOR COATING in Restroom Building:** Acid-etch new concrete floor surface in Restroom Building (in both Restroom and Utility Room) before applying commercial grade multi-coat epoxy system, including primer coat, 100% solids epoxy base coat with **full broadcast color flakes**, and aliphatic urethane topcoat with slip-resistant ADA compliant finish.  
Epoxy floor coating to be applied at least 4 inches up all walls to provide seamless coving.  
Color flakes to be mix of light beige tones. **Color mix of Epoxy Coating and color flakes to be approved by City prior to installation.**



landscape architecture & planning

1415 E. 2nd Street N. Wichita, KS — 316-262-4525 — www.fosterdesignassociates.com

Restroom — General Notes  
Depot Park — 100 S. Main Street, Kingman KS

sheet: 32 of 48

date: 11/1/2021

project: 19054.2



RESTROOM BUILDING — Materials				
ITEM	Quantity	Manufacturer	Type	Color
Exterior Walls	395 face feet	<u>Kansas Building Products</u>	8x8x16 Split Face CMU	±58% Tumbleweed, 42% Cherry
Perlite loose fill insulation	—	Kansas Building Products		
Interior Wall	105 face feet	Kansas Building Products	6x8x16 CMU	smooth gray
Paint for all interior CMU walls	440 SF	KLIZ	Basement & Masonry Waterproof	tint to match Hardie color "Navajo Beige"
Masonry Cleaner & Etcher	440 SF	KLIZ	Concrete & Masonry Cleaner & Etcher	—
Fiber Cement Siding	450 SF	<u>HardiePanel Vertical Siding</u>	0.312" thick, 48 inch wide, smooth	Navajo Beige
Fiber Cement Trim Boards	62 LF	<u>HardiTrim Boards</u>	1" thick x 11.25" width actual dimensions	Woodstock Brown
Standing Seam Metal Roof	200 SF	<u>MS Metal Sales</u>	<u>Clip-Loc</u> structural standing seam panels, 16", 24 gauge, acrylic coated Galvalume	Champagne Metallic (168)
Door — Restroom	1 unit	<u>Trudoor</u>	Insulated metal exterior door with frame; left hand outswing, 36x80", flush; with ADA compliant threshold	prime; paint with at least 2 coats of 100% acrylic latex exterior semi-gloss paint, tinted to match Halsey-Taylor drinking fountain color "Gray"
Door Closer	1 unit	Norton	<u>UNIZ500H X.689</u> — commercial exterior closer, parallel arm, ADA compliant, adjustable, hydraulic, heavy duty, hold open	aluminum painted
Lock	1 unit	Schlage	<u>L496 Keyed Deadbolt</u> with occupancy indicator, ADA compliant	630 Satin Stainless Steel
Door — Utility Room	1 unit	<u>Trudoor</u>	Insulated metal exterior door with frame; right hand outswing, 36x80", flush; with ADA compliant threshold	prime; paint with at least 2 coats of 100% acrylic latex exterior semi-gloss paint, tinted to match Halsey-Taylor drinking fountain color "Gray"
Lock	1 unit	Schlage	<u>L460 Cylinder x Thumbturn Lock</u>	630 Satin Stainless Steel
Pull Plates for Doors	2 units	Trudoor / Don Jo	<u>CEK7115 Pull Plate</u> — 4" x 16" pull plate with 6 inch pull & deadbolt hole, ADA compliant	Stainless Steel
Push Plates for Doors	2 units	Trudoor / Don Jo	<u>CEK71</u> — 4" x 16" push plate with deadbolt hole, ADA compliant	Stainless Steel
Epoxy Floor Coating	135 SF	Sherwin Williams	<u>ArmorSeal 1000 HS Epoxy</u>	tint to match Hardie color "Navajo Beige"
Urethane top coat	135 SF	Sherwin Williams	<u>ArmorSeal Rexthane</u> — aliphatic urethane	—
Color Flakes	—	H&C	<u>Shield-Crete Deco-Flakes</u>	Pebble Beach mix



landscaping architecture & planning

1415 E. 2nd Street N., Wichita, KS

316-262-4525

www.fosterdesignassociates.com

date: 1/1/2021

project: 19054.2

**Restroom — Materials Specifications & Quantities**  
**Depot Park — 100 S. Main Street, Kingman KS**



landscaping architecture & planning

1415 E. 2nd Street N. Wichita, KS

316-262-4525

www.fosterdesignassociates.com

date: 11/1/2021

project: 19054.2

sheet: 34 of 48

**Restroom — Equipment Specifications**  
**Depot Park — 100 S. Main Street, Kingman KS**

RESTROOM BUILDING — Equipment				
ITEM	Quantity	Manufacturer	Model	Requirements
DRINKING FOUNTAIN	1 unit	Halsey Taylor	Endura II Tubular Outdoor Fountain 4420DBFRKGRY	Freeze-resistant, ADA compliant, bi-level with pet station; non-filtered, non-refrigerated; stainless steel, powdercoat COLOR - GRAY
EXHAUST FAN	1 unit	Aero Pure	VSF110DCMH-SW	Multiple-speed, continuous-run, integrated motion/humidity sensor & white low-maintenance grill; approved for both ceiling and wall installation
Exhaust Fan—WALL CAP	1 unit	Broan-NuTone	843BL	For 6" round ducting, powder-coated steel, with spring loaded backdraft damper & bird screen
LIGHT — Outdoor WALL PACK (above entry doors)	1 unit	Cooper Lumark	AXG33ARL-C-MSP/DIM-L12	Commercial LED wall pack, bird-nest-resistant shape, 5000K, photo/motion sensor
LIGHT — 1 for RESTROOM INTERIOR & 1 for UTILITY ROOM INTERIOR	2 units	Koda	LM56123-1	LED ceiling light with motion sensor, 14 inch diameter, remotely programmable, damp location, 5000K
LIGHT — Restroom Emergency Light	1 unit	Cooper Sure-Lites	Pathlinx LEMRO Emergency Light	hardwired battery-backup emergency light
MINI SPLIT SYSTEM	1 unit	Fujitsu	9RLFCO — includes AOU9RLFC Outdoor Condenser & ARU9RLF Halcyon HFI Concealed Duct Unit	21.5 SEER Mini Split System, 9000 BTU cooling & 12,000 BTU heating, with 7-day programmable hardwired timer. Provide line set, connecting cable, ducts, registers, grilles, and other accessories as needed for complete system.
SECURITY SYSTEM	—	Kingman Parks standard — coordinate with City security contractor		Depot Park security system controller to be located in Restroom building Utility Room; mount 1 camera on front of Restroom building, additional cameras on site to be located by City's security contractor in consultation with City
SIGNS	1 unit	Alpha Dog	ADA-FI-86-BLU	Family Restroom Sign, ADA compliant with Braille, 8"x9", blue, UV-resistant acrylic for use outdoors
WALL HYDRANT (for exterior wall)	1 unit	Woodford Manufacturing	MB65	freezeless, single check anti-siphon, with keyed cylinder lock, modular box & replaceable door
WATER HEATER	1 unit	EcoSmart	ECO 36	36-kilowatt tankless electric water heater

RESTROOM – Interior Furnishings & Equipment			
ITEM	Quantity	Manufacturer	Requirements
BABY CHANGING STATION	1 unit	Koala Kare	horizontal, stainless steel, surface-mount, ada compliant
GRAB BARS (18", 36", & 48")	1 of each size	Bobrick	stainless steel, ADA compliant
HAND DRYER	1 unit	Bobrick	stainless steel, ADA compliant, sensor-operated
SANITARY NAPKIN DISPOSAL	1 unit	Bobrick	stainless steel, surface-mount
SINK / VANITY with FAUCET & SOAP DISPENSER	1 unit	Just Manufacturing	integral stainless steel sink & vanity, wall-hung, with sensor faucet, automatic soap dispenser, thermostatic mixing valve & drain – all ADA compliant
TOILET	1 unit	Acorn Meridian	ADA seat height, stainless steel, on-floor, rear mount, floor waste, siphon jet
Toilet–Flushometer Valve	1 unit	Sloan	concealed sensor, hardwired, ADA compliant
TOILET PAPER DISPENSER	1 unit	Bobrick	holds two 10" diameter rolls, stainless steel, tumbler lock, ADA compliant
WALL HOOKS	2 units	Bobrick	stainless steel, vandal-resistant, 4-hook unit
WALL HYDRANT (for interior of Restroom)	1 unit	Woodford Manufacturing	freezeless, single check anti-siphon, with keyed cylinder lock, modular box & replaceable door
WASTE RECEPTACLE	1 unit	Bobrick	stainless steel, wall-mount

UTILITY ROOM – Interior Furnishings & Equipment			
ITEM	Quantity	Manufacturer	Requirements
HOT & COLD WALL FAUCET	1 unit	Woodford Manufacturing	brass, anti-siphon, hot and cold wall faucet
SHOP SINK	1 unit	Elkay	stainless steel, with legs, left drainboard
Shop Sink–DRAIN	1 unit	Elkay	3-1/2" stainless steel basket drain, with stopper
Shop Sink–EYEWASH STATION	1 unit	Guardian	faucet-mounted
Shop Sink–FAUCET	1 unit	Elkay	8" centerset wall mount high arc faucet, with 4" wristblade handles



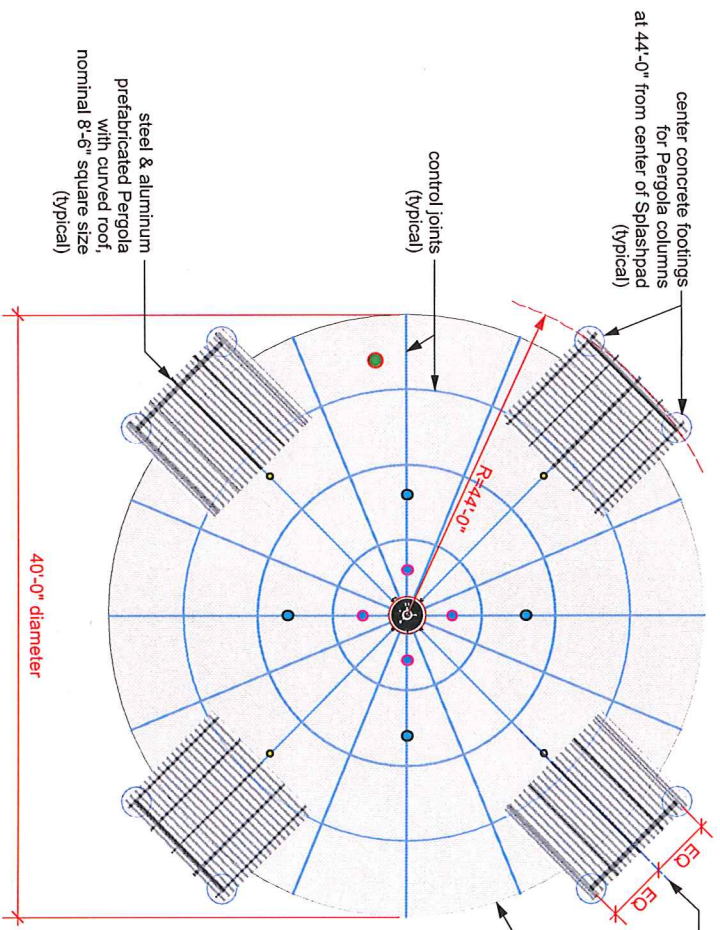
**FOSTER DESIGN**  
Associates LLC

landscape architecture & planning

1415 E. 2nd Street N. Wichita, KS — 316-262-4525 — www.fosterdesignassociates.com

date: 1/1/2021 project: 19054.2

**Restroom — Interior Furnishings & Equipment Specifications**  
Depot Park — 100 S. Main Street, Kingman KS



**1** Pergolas at Splashpad — Plan  
p36 scale: 1/8"=1'-0"

**COORDINATE construction**  
of Pergola footings  
with splashpad installer.  
Install Pergola structures  
(excluding footings)  
after Splashpad construction  
is complete.  
Install Benches  
after Pergola installation  
is complete.

## Specifications for Pergolas

Pergolas to be by *Steel Shade Pergolas of Tulsa, OK*  
(www.steelshadepergolas.com) OR EQUAL.  
Any substitutions to be pre-approved by City representative.

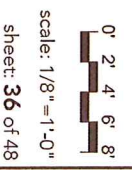
Contact Information:  
Steel Shade Pergolas  
ATTN: Jody  
5833 S. Garnett Road  
Tulsa OK 74146  
phone: (918) 283-5296  
fax: (918)-543-3940  
email: info@steelshadepergolas.com

- PERGOLAS** (quantity 4):
- 8'-6" x 8'-6" Custom Cantilever 2-Post Pergola with radius joists
  - Frame: bolt-together carbon steel with powdercoat finish — color **Black**
  - Shade Bars: Aluminum with no powdercoat

Shop Drawings from Manufacturer to be **engineered stamped drawings**  
which include **footings** designed for Kingman, Kansas.

## Pergolas — Plan & Specifications

Depot Park — 100 S. Main Street, Kingman KS

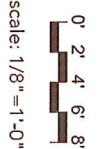
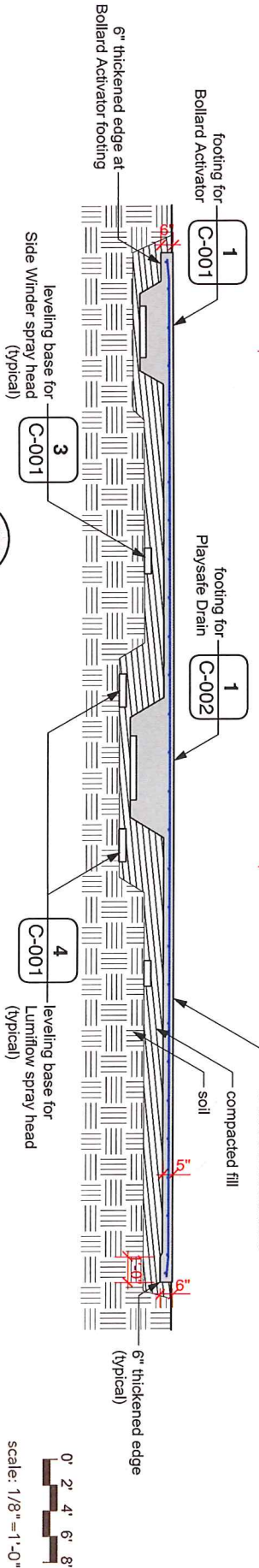
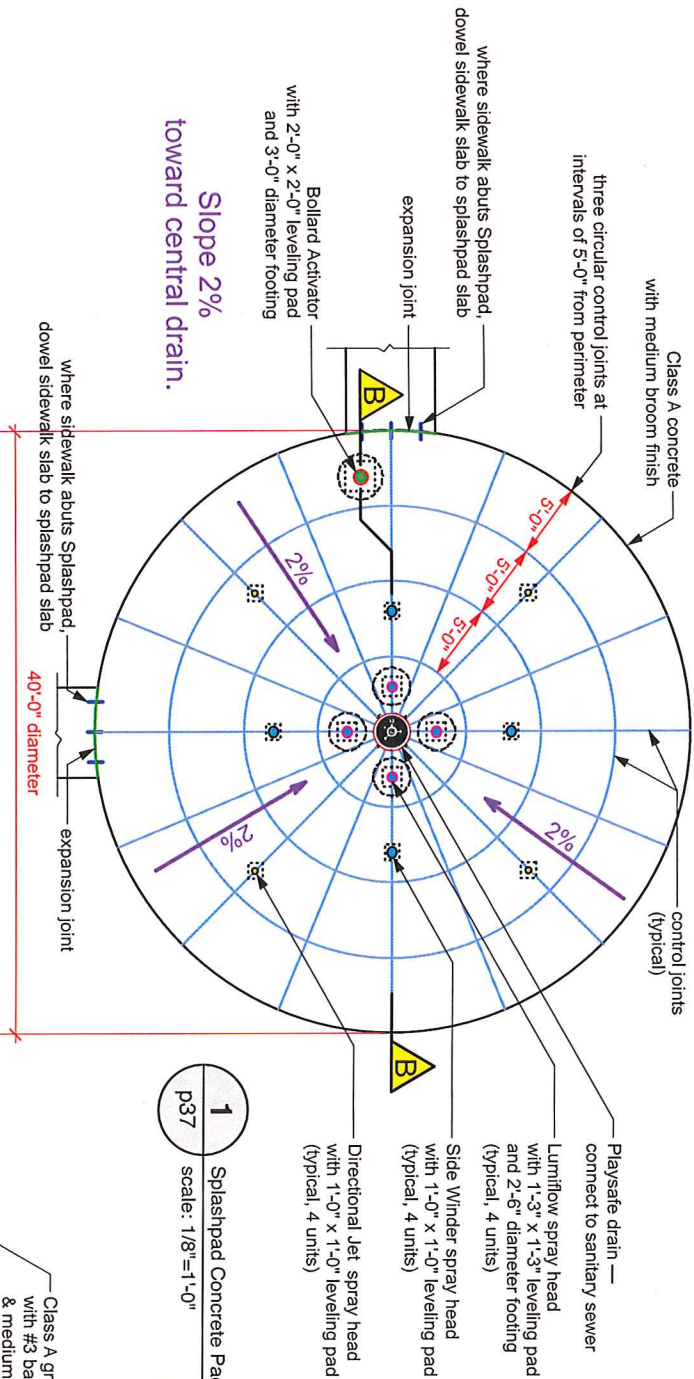


scale: 1/8"=1'-0"

sheet: 36 of 48

**COORDINATE construction**  
of Splashpad concrete pad with  
splashpad installer.

Craig Hamelin  
Power Play, LLC  
12804 S. Memorial Drive, Suite 1114  
Bixby, OK 74008  
(918) 728-9978  
ohamelin@cox.net  
www.power-play.net



landscape architecture & planning

1415 E. 2nd Street N. Wichita, KS — 316-262-4525 — www.fosterdesignassociates.com

date: 11/1/2021

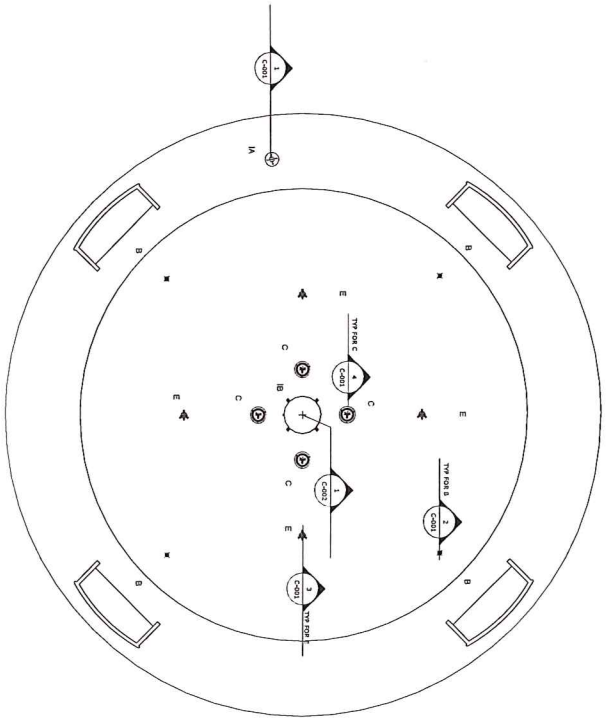
project: 19054.2

**Splashpad — Plan & Section**  
Depot Park — 100 S. Main Street, Kingman KS

sheet: 37 of 48



REF	PRODUCT	QTY
IA	Boilard Activator N°3 VOR 0611	1
B	Directional Jet N°1 VOR 0305	4
C	Playsafe Drain N°1 VOR-1001-4000	4
IB	Side Winder VOR 7518	4
TOTAL		14



### 1 ANCHOR PLAN

A-002

1. 5/1'-5M SPRAY FREE AREA ALL AROUND THE SPLASHPAD
2. RECOMMENDED SLOPE: 2% TOWARDS DRAINAGE
3. COORDINATE THESE DRAWINGS WITH ARCHITECTURAL CIVIL PLUMBING SECTION & ELECTRICAL SECTIONS.

## Kingman Splashpad

**VORTEX**  
 VORTEX USA Inc.  
 1420 Vainwood Parkway Suite 205  
 Carrollton, Texas 75006  
 Phone: +1 (972) 410-3518  
 Toll Free: +1 (877) 565-7299

COMPANY SUBJECTS TO THE FOLLOWING CONDITIONS AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

Project Location  
 KS  
 Project Number  
 36167  
 Owner Number

DATE	BY	DESCRIPTION
04/March/2021 <td>MAB <td>ANCHOR PLAN</td> </td>	MAB <td>ANCHOR PLAN</td>	ANCHOR PLAN

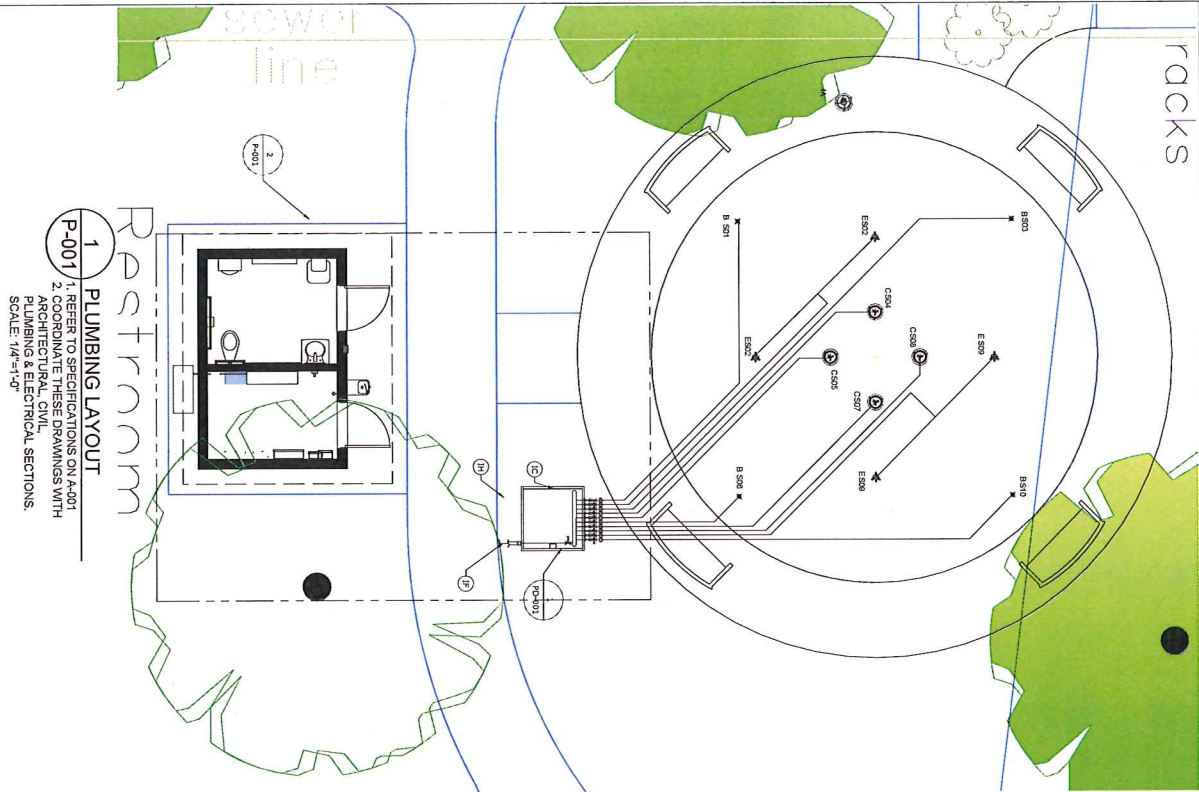
Drawn by: MM  
 Checked by: MAB  
 Date: 04/March/2021  
 Scale: 1/4" = 1'-0"  
 Page # A-002



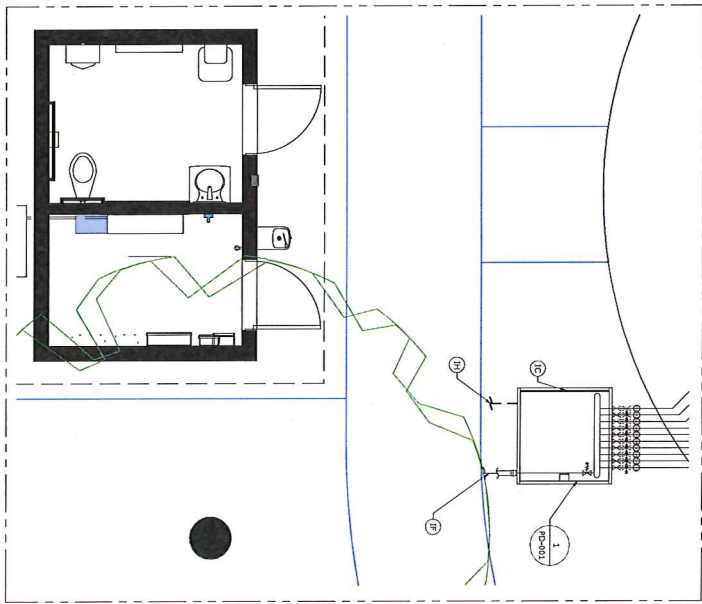




RACKS



**1 PLUMBING LAYOUT**  
 P-001 / 1. REFER TO SPECIFICATIONS ON A-001  
 2. COORDINATE THESE DRAWINGS WITH  
 ARCHITECTURAL, CIVIL,  
 PLUMBING & ELECTRICAL SECTIONS.  
 SCALE: 1/4"=1'-0"



**2 PLUMBING LAYOUT**  
 P-001 / 1. REFER TO SPECIFICATIONS ON A-001  
 2. COORDINATE THESE DRAWINGS WITH  
 ARCHITECTURAL, CIVIL,  
 PLUMBING & ELECTRICAL SECTIONS.  
 SCALE: 1/4"=1'-0"


**Feature Connection Table**

Item/Id	Quantity	Feature Ref.	Feature	Line Size	QTY
S01	1	B	Directional Jet No 1 VOR 0305	1 1/2"	3
S02	2	E	Side Winder VOR 7518	1 1/2"	13
S03	1	B	Directional Jet No 1 VOR 0305	1 1/2"	3
S04	1	C	Lumiflow VOR 7059	1 1/2"	11.5
S05	1	C	Lumiflow VOR 7059	1 1/2"	11.5
S06	1	B	Directional Jet No 1 VOR 0305	1 1/2"	3
S07	1	C	Lumiflow VOR 7059	1 1/2"	11.5
S08	1	C	Lumiflow VOR 7059	1 1/2"	11.5
S09	2	E	Side Winder VOR 7518	1 1/2"	13
S10	1	B	Directional Jet No 1 VOR 0305	1 1/2"	3

**Product Legend**

Product Ref.	Product	QTY
IA	Relief Activator No 3 VOR-011	1
IB	Pressure Drain No. 1 VOR-011	1
IC	Water Distribution System: Vault Command Center 3016DZ101B01	1
ID1	Master/NO Controller 2" (4" & 1")	1
ID2	Master/NO Power Box	1
IE	Lumiflow Power Pack	1
IF	3"CPV Water Line (by installer)	1
IG	To municipal drain (by installer)	1
IH	2" TYP Drain Line With Strainer Connected to Drainage System to Prevent Freezing. (by installer)	1
IM	Pressure Regulator (by installer)	1
IN	Backflow Preventer (by other)	1
IO	Schedule Valve: 1 1/2" Ball Valve	10

# Kingman Splashpad


**VORTEX USA, Inc.**  
 1420 Yalwood Parkway Suite 205  
 Carrollton, Texas  
 Toll Free: 800-586-7939  
 Phone: +1 (972) 410-3819  
COMPANY WATER AND SANITATION SOLUTIONS HAS THE  
 HONOR OF BEING A VORTEX COMPANY. OUR WATER  
 AND SANITATION SOLUTIONS ARE THE MOST  
 INNOVATIVE AND EFFECTIVE IN THE INDUSTRY.  
 © 2021 VORTEX USA, INC.

Project Location: **K5**  
 Project Number: **35167**  
 Order Number: **35167**

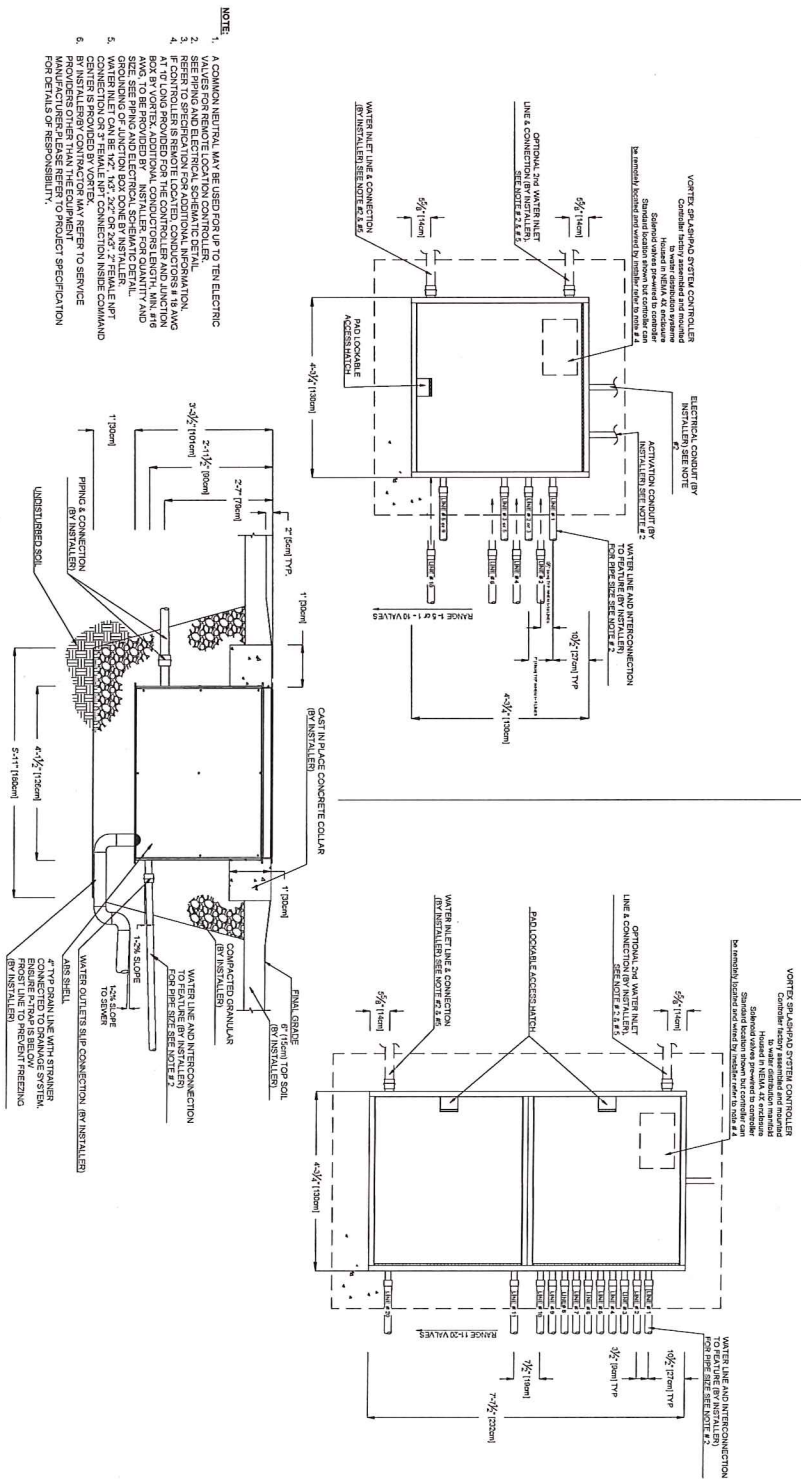
Drawing Title: **Plumbing Layout**  
 Drawing No: **P-001**  
 Date: **04/March/2021**

Drawn by: **NM**  
 Checked by: **MAB**  
 Scale: **1/4"=1'-0"**  
 Page #: **P-001**



# SUBTERRANEAN COMMAND CENTER (1 - 5) & (1-10)

# SUBTERRANEAN COMMAND CENTER (1 - 20) VALVES



- NOTE:**
1. A COMMON NEUTRAL MAY BE USED FOR UP TO TEN ELECTRIC VALVES ON NEUTRAL LOCATION CONTROLLED.
  2. REFER TO SPECIFICATION FOR ADDITIONAL INFORMATION.
  3. REFER TO SPECIFICATION FOR ADDITIONAL INFORMATION.
  4. A COMMON NEUTRAL MAY BE USED FOR UP TO TEN ELECTRIC VALVES ON NEUTRAL LOCATION CONTROLLED.
  5. REFER TO SPECIFICATION FOR ADDITIONAL INFORMATION.
  6. CENTER IS PROVIDED BY VORTEX. PROVIDERS OTHER THAN THE EQUIPMENT MANUFACTURER PLEASE REFER TO PROJECT SPECIFICATION FOR DETAILS OF RESPONSIBILITY.

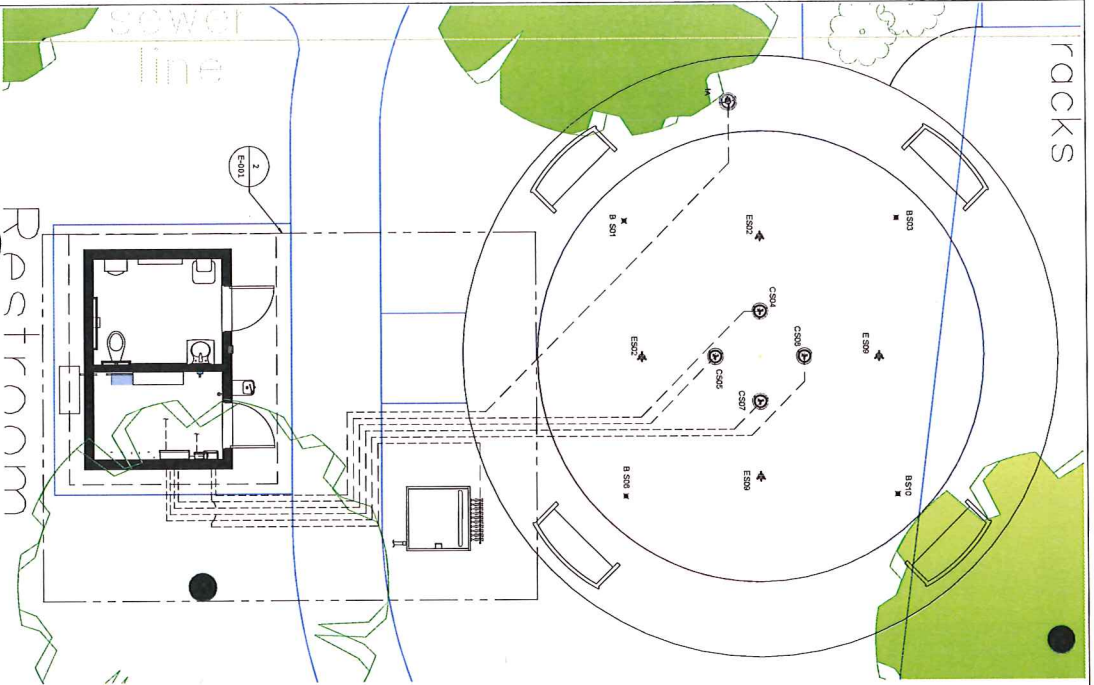
1 Aluminum Subterranean command Center  
 PD-001 VOR-D18001000

Kingman Splashpad

**VORTEX** USA, Inc.  
 1420 Vinwood Parkway, Suite 205  
 Carrollton, Texas  
 United States 75006  
 Phone: +1 (972) 410-5819

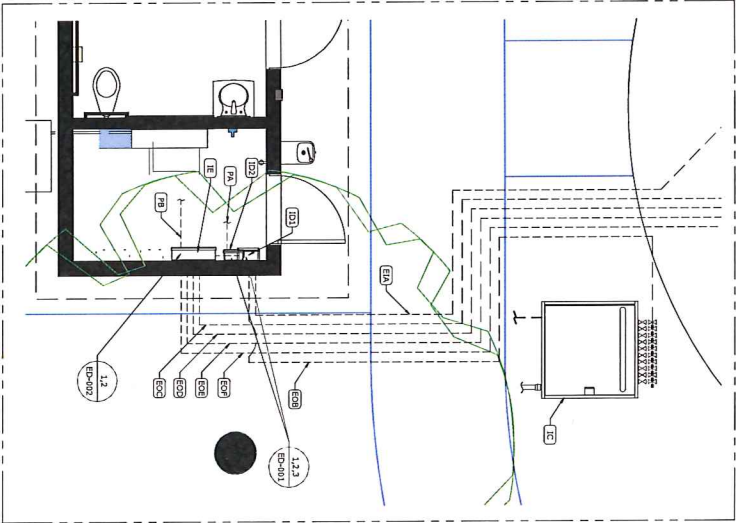
Project Location	KS
Project Number	35167
Order Number	
Drawn By	NM
Checked By	MAB
Date	04/March/2021
Scale	
Page #	PD-001

RACKS



**1 ELECTRICAL LAYOUT**

1. REFER TO SPECIFICATIONS ON A-001  
2. COORDINATE THESE DRAWINGS WITH ARCHITECTURAL, CIVIL, PLUMBING & ELECTRICAL SECTIONS.  
SCALE: 1/4"=1'-0"



**2 ELECTRICAL LAYOUT**

1. REFER TO SPECIFICATIONS ON A-001  
2. ARCHITECTURAL, CIVIL, PLUMBING & ELECTRICAL SECTIONS.  
SCALE: 1/4"=1'-0"

Product Ref.	Product	Qty
IA	Rollup Actuator No.3 VOR-613	1
ID1	Microstro Controller 24 500V 1E 1H	1
ID2	Neurostro Power Box	1
IE	Lumiflow Power Pack	1

Product Code	From	To	# Conductors	Conduit/Type	Note
IA	Main Power Line	ID2-120VAC	3	N/A	120V, 1 Phase, 60Hz, 100amps Power Recommended ± 5% Voltage Drop is Acceptable (By Owner)
ID1	Main Power Line	IE-120VAC	3	N/A	120V, 1 Phase, 60Hz, 100amps Power Recommended ± 5% Voltage Drop is Acceptable (By Owner)

Product Code	From	To	# Conductors	Conduit/Type	Note
EA	ID1-R345	IE-R345	1 Cable	Ethernet CAT5	Signal from Neurostro Controller to Lumiflow Power Pack
EOB	ID1	IE	2 per Solenoid 2 per Valve	2 per Solenoid 2 per Valve	24VAC Max 200 mA (By Inverter)
EOC	IE	CS14	2 2 2 1	2PWR/12 AWG PWR/12VAC DMX-SHIELDED 1.0SD/18 AWG	Signal from Lumiflow Power Pack to Lumiflow 100' Long Cable (By Inverter)
EOD	IE	CS15	2 2 2 1	2PWR/12 AWG PWR/12VAC DMX-SHIELDED 1.0SD/18 AWG	Signal from Lumiflow Power Pack to Lumiflow 100' Long Cable (By Inverter)
EOE	IE	CS17	2 2 2 1	2PWR/12 AWG PWR/12VAC DMX-SHIELDED 1.0SD/18 AWG	Signal from Lumiflow Power Pack to Lumiflow 100' Long Cable (By Inverter)
EOF	IE	CS18	2 2 2 1	2PWR/12 AWG PWR/12VAC DMX-SHIELDED 1.0SD/18 AWG	Signal from Lumiflow Power Pack to Lumiflow 100' Long Cable (By Inverter)

Product Code	From	To	# Conductors	Conduit/Type	Note
EA	ID1-R345	IA	5	22	Rollup Actuator No.3 2x 24V Long Cable (By Vortex)

Product Ref.	Feature	Output
S01	Directional Jet W#1 VOR 0345	1
S02	Slide Window VOR 7238	2
S03	Directional Jet W#1 VOR 0345	3
S04	Lumiflow VOR 7259	4
S05	Lumiflow VOR 7259	5
S06	Directional Jet W#1 VOR 0345	6
S07	Lumiflow VOR 7259	7
S08	Lumiflow VOR 7259	8
S09	Slide Window VOR 7238	9
S10	Directional Jet W#1 VOR 0345	10

Product Code	From	To	# Conductors	Conduit/Type	Note
EA	ID1-R345	IA	5	22	Rollup Actuator No.3 2x 24V Long Cable (By Vortex)

**VORTEX**  
 VORTEX USA Inc.  
 1420 Valwood Parkway Suite 205  
 United States 72005  
 Toll Free: +1 (877) 586-7899  
 Phone: +1 (972) 410-9519

Kingman Splashpad

Project Location: KS  
 Project Number: 36167  
 Other Number: \_\_\_\_\_

Drawn by: NM  
 Checked by: MAB  
 Date: 06/19/2021

Electrical Layout





